PROPOSED **RESIDENTIAL CARE FACILITY** 11-19 Frenchmans Road, Randwick, NSW

Drawing List

DWG. No. Drawing Title DA00 - Cover Page DA01 - Site Plan DA02 - Site Analysis DA02a - Site Anayis - Locality Plan DA03 - Lower Basement Floor Plan DA04 - Basement Floor Plan DA05 - Ground Floor Plan DA06 - First Floor Plan DA07 - Second Floor Plan DA08 - Third Floor Plan DA09 - Roof Plan DA10 - Sections (A,B & C) DA11 - Sections (D, E, F & G) DA12 - Section H & Elevations (South & West Boundary) DA13 - Elevations (North, East, South & West) DA14 - Street Elevations Proposed DA15 - Street Elevation @ Frenchmans Road - Photomontage DA16 - Street Elevation @ McLennan Avenue - Photomontage DA17 - Shadow Diagrams Existing & Proposed (21 June 8am. & 12 pm DA18 - Shadow diagrams Existing & Proposed (21 June 4 pm.) DA18a - 3D Image Showing Built form penetrating 12m Height DA19 - Solar Access Diagrams DA20 - Gross Floor Area Diagram - Ground Floor Plan DA21 - Gross Floor Area Diagram - First Floor Plan - Gross Floor Area Diagram - Second Floor Plan DA22 DA23 - Gross Floor Area Diagram - Third Floor Plan DA24 - Demolition Plan



11-19 Frenchmans Road, Randwick, NSW Tel: (02) 9847 3800



	Scale	Size
	NTS	A1
	1:200	A1
	1:200	A1
	NTS	A1
	1:200	A1
	NTS	A1
	NTS	A1
1 .)	1:500	A1
	1:500	A1
	NTS	A1
	NTS	A1
	1:200	A1





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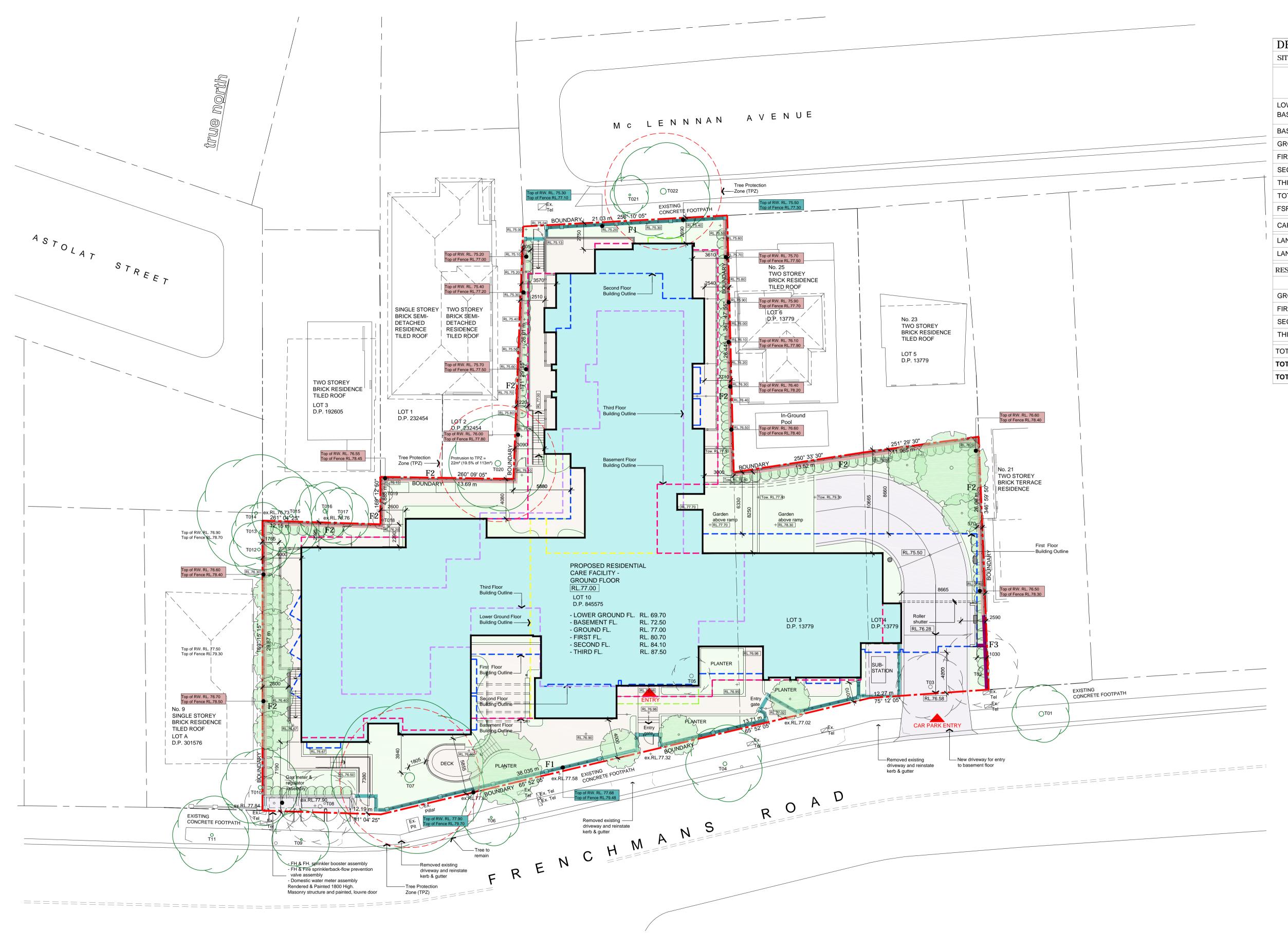
Architecture, Health Planning, Project Management Suite 7, Level 1 Epica, 9 Railway Street Chatswood, NSW 2067 Tel: (02) 9406 7000. Fax: (02) 9406 7099 Email: brgroup@brgr.net

PRELIMINARY DA 30.09. 2020



ISSUE

2017 DA00



DEVELOP		51		
SITE AREA		2,709.7 m ²		
	BCA FLOOR AR	EA	SEPP GROS AREA VILLA	S FLOOR (VERTICA
LOWER BASEMENT.FL.	521.6	m²		-
BASEMENT.FL.	1,557.2	2 m²		-
GROUND FL.	1,340.2	2 m²		905.8 m²
FIRST FL.	1,393.4	4 m²		1,278.9 m²
SECOND FL.	1,338.6	6 m²		1,231.0 m²
THIRD FL.	391.0) m²	369.6 m²	
TOTAL	6,541.9 m ² 3,785.2 m ²			
FSR				1.397 : 1
CARPARKING / AMBULANCE 19+1= 20 spaces				
LANDSCAPE AF	REA		1,130.	3 m²
LANDSCAPE AF	REA PER BE	ED	13.14	m²
RESIDENT ACC	OMMODAT	ION		
	1 BED	2	BED	TOTAL
GROUND FL.	17		0	17
FIRST FL.	24		4 x 2	32
SECOND FL.	22		4 x 2	30
THIRD FL.	7		0	7
TOTAL NUMBER	R OF THIRD	FL.	ILUs	= 2
TOTAL NUMBER OF BEDS = 86				

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LEGEND				
	PROPOSED RCF			
	BOUNDARY			
	SOFT LANDSCAPE			
	HARD LANDSCAPE			
-00	FENCE TYPE 1			
-00	FENCE TYPE 2			
+ ex RL.76.80	EXISTING LEVEL RL.			
+ RL.76.80	NEW FINISHED LEVEL RL.			
+ TOW RL.	PROPOSED TOP OF WALL LEVEL			
	LOWER GROUND FLOOR			
	BASEMENT FLOOR			
	FIRST FLOOR			
	SECOND FLOOR			
	THIRD FLOOR			
	PROPOSED ROADS AND DRIVEWAYS			
	EXISTING TREES TO REMAIN			
°	EXISTING TREES TO BE REMOVED			
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH + EXISTING FENCE			
F2	1800H COLORBOND STEEL FENCING & RETAINING WALL + EXISTING FENCE			
F3	1800H COLORBOND STEEL FENCING + EXISTING FENCE			
NOTE: - ALL EXISTING FENCING EXCEPT FOR FRENCHMANS ROAD AND Mc LENNAM AVENUE BOUNDARIES TO REMAIN. NEW FENCING TO BE BUILT INSIDE THE BOUNDARY ADJACENT				



No.	Amendment	Date
1	Development application issue	19.12.19
2	Development Application Issue for review	11.08.2020
3	Development Application Issue for review	14.08.2020
4	Development Application Issue	07.09.2020
5	Preliminary DA Issue	30.09.2020

11-19 Frenchmans Road, Randwick

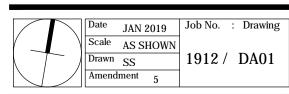
Drawing

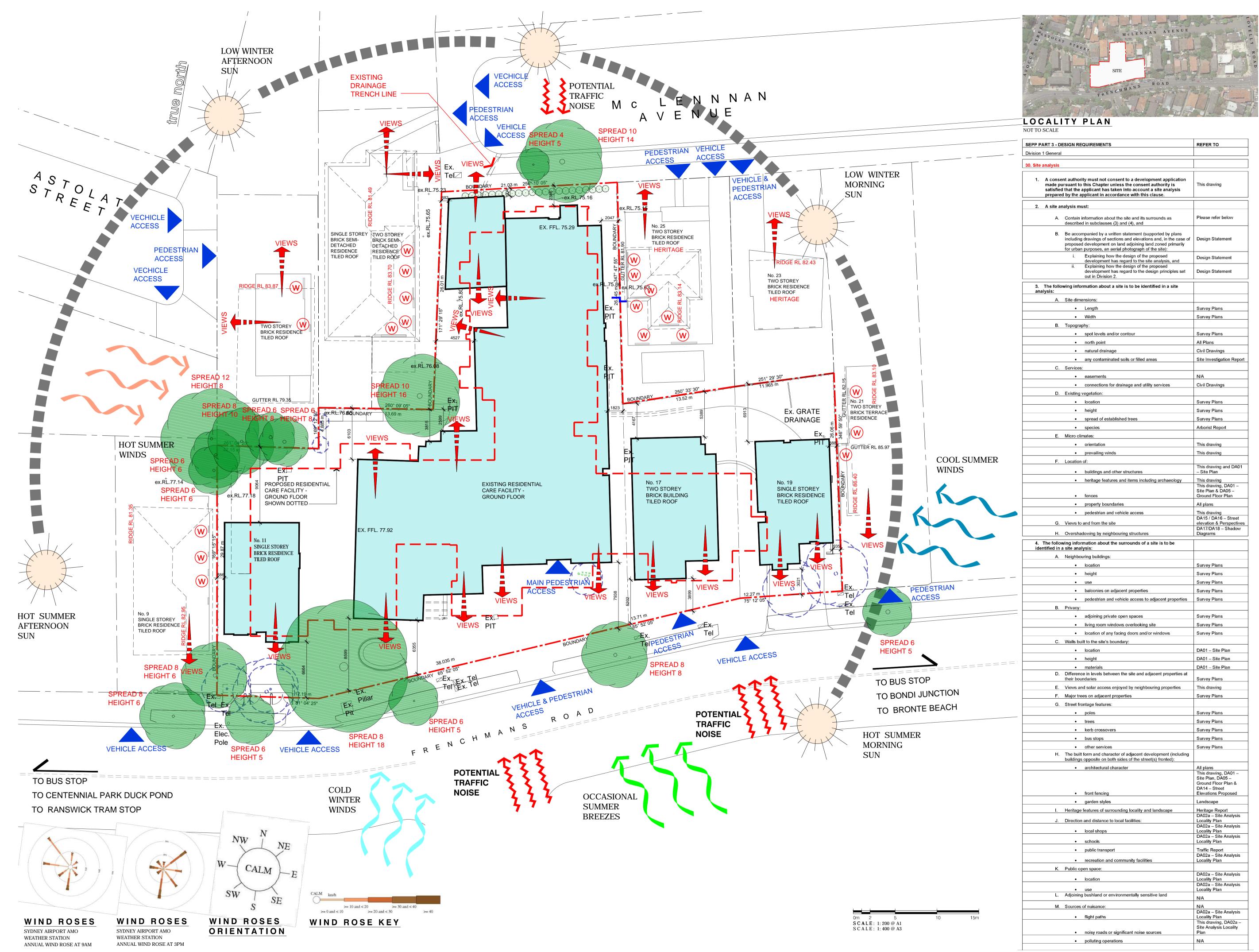
SITE PLAN



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ESIGN REQUIREMENTS		REFER TO
1		
ursuant to this Chapter ur d that the applicant has ta d by the applicant in acco	nsent to a development application nless the consent authority is ken into account a site analysis ordance with this clause.	This drawing
nalysis must: Contain information abou described in subclauses (t the site and its surrounds as (3) and (4), and	Please refer below
including drawings of sec proposed development of	tten statement (supported by plans tions and elevations and, in the case of n land adjoining land zoned primarily erial photograph of the site):	Design Statement
i. Explaining how development h	the design of the proposed as regard to the site analysis, and	Design Statement
development h out in Division 2		Design Statement
owing information about a	site is to be identified in a site	
Site dimensions: Length		Survey Plans
Width		Survey Plans
Topography:		
spot levels and north point	/or contour	Survey Plans All Plans
natural drainag	e	Civil Drawings
 any contaminat 	ed soils or filled areas	Site Investigation Report
Services: • easements		N/A
	drainage and utility services	Civil Drawings
Existing vegetation:		
locationheight		Survey Plans Survey Plans
spread of estat	lished trees	Survey Plans
species		Arborist Report
Micro climates:		This drawing
orientation prevailing wind	S	This drawing This drawing
Location of:		This drawing and DA01
 buildings and o 	ther structures	– Site Plan
heritage feature fences	es and items including archaeology	This drawing This drawing, DA01 – Site Plan & DA05 – Ground Floor Plan
property bound	aries	All plans
 pedestrian and 	vehicle access	This drawing DA15 / DA16 – Street
Views to and from the site Overshadowing by neight		elevation & Perspectives DA17/DA18 – Shadow Diagrams
wing information about th	e surrounds of a site is to be	
a site analysis: Neighbouring buildings:		
location		Survey Plans
 height 		Survey Plans
 use balconies on ad 	ljacent properties	Survey Plans Survey Plans
	vehicle access to adjacent properties	Survey Plans
Privacy:		
adjoining privat living room win	e open spaces dows overlooking site	Survey Plans Survey Plans
	facing doors and/or windows	Survey Plans
Walls built to the site's bo	undary:	
locationheight		DA01 – Site Plan DA01 – Site Plan
materials		DA01 – Site Plan
Difference in levels betwee their boundaries	en the site and adjacent properties at	Survey Plans
Views and solar access e	njoyed by neighbouring properties	This drawing
Major trees on adjacent p Street frontage features:	roperties	Survey Plans
poles		Survey Plans
• trees		Survey Plans
kerb crossover: bus stops	S	Survey Plans Survey Plans
bus stopsother services		Survey Plans
	ter of adjacent development (including h sides of the street(s) fronted):	
architectural ch	· · · · ·	All plans This drawing, DA01 – Site Plan, DA05 – Ground Floor Plan &
front fencing		DA14 – Street Elevations Proposed
garden styles		Landscape
Direction and distance to	bunding locality and landscape	Heritage Report DA02a – Site Analysis
	iocai facinites.	Locality Plan DA02a – Site Analysis Locality Plan
local shops schools		DA02a – Site Analysis Locality Plan
public transport	ł	Traffic Report
recreation and	community facilities	DA02a – Site Analysis Locality Plan
Public open space:		DA02a – Site Analysis
location		Locality Plan DA02a – Site Analysis
use Adjoining bushland or env	vironmentally sensitive land	Locality Plan N/A
Sources of nuisance:		N/A
flight paths		DA02a – Site Analysis Locality Plan This drawing, DA02a –
• noisy roads or	significant noise sources	Site Analysis Locality Plan

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LEGEND					
	OUTLINE OF EXISTING SUMMITCARE BUILDING G/F				
	OUTLINE OF PROPOSED SUMMITCARE BUILDING G/F				
	BOUNDARY				
	VIEWS				
	PEDESTRIAN OR VEHICLE ACCESS				
	EXISTING TREES TO REMAIN				
	EXISTING TREES TO BE DEMOLISHED				
	PROPOSE 1800H FENCE AND LANDSCAPE SCREENING FOR PRIVACY SCREENING REFER TO LANDSCAPE DOCUMENTS FOR DETAIL				
5	OCCASIONAL SUMMER BREEZES				
\leftarrow	COOL SUMMER WINDS				
~	HOT SUMMER WINDS				
~	COLD WINTER WINDS				
{ ~~~~~	TRAFFIC NOISE				
W	WINDOW OF NEIGHBOURING BUILDINGS				

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NOTES:

1. REFER TO SURVEY DWGS FOR NEIGHBOURING PROPERTIES' WINDOWS AND DOORS' SILL AND HEAD HEIGHTS.

2. PLANT SPECIES REFER TO ABORIST REPORT 3. REFER TO DA01 - SITE PLAN FOR FENCING TYPES, RETAINING WALLS LOCATION, HEIGHT AND DETAILS



5	Preliminary DA Issue	30.09.2020
4	Development Application Issue	07.09.2020
3	Development Application Issue for review	14.08.2020
2	Development Application Issue for review	11.08.2020
1	Development application issue	19.12.19
No.	Amendment	Date

SUMMIT CARE

11-19 Frenchmans Road, Randwick

Drawing

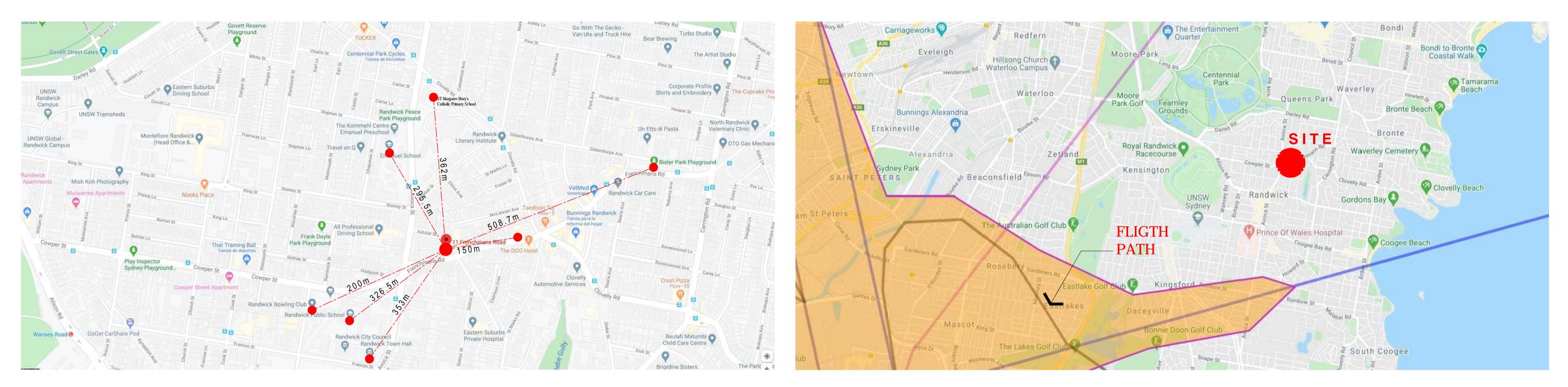
SITE ANALYSIS



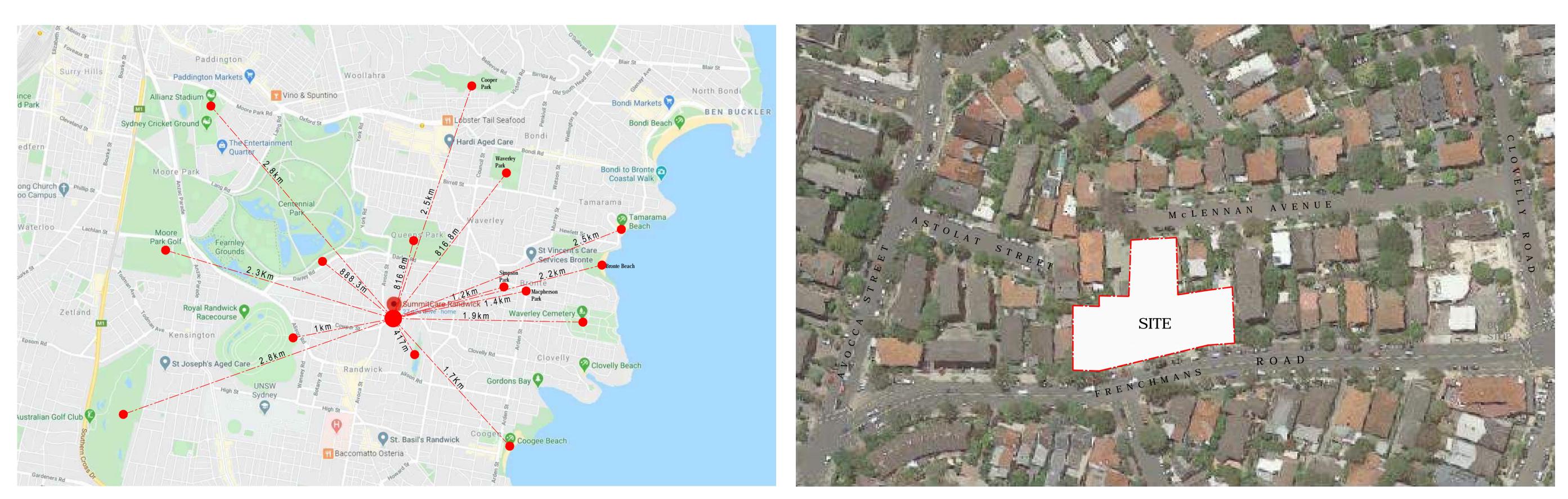
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	\frown	Date	JULY	2019	Job No.	Drawing
		Scale	AS S	HOWN		
K T		Drawn	SS		1912 /	DA02
		Amend	ment	5		



DIRECTIONS & DISTANCES TO LOCAL FACILITY PLAN



PUBLIC OPEN SPACE PLAN

FLIGTH PATH PLAN

LOCATION PLAN



Proj	ect	
No.	Amendment	Date
1	Development Application Issue for review	14.08.2020
2	Development Application Issue	07.09.2020
3	Preliminary DA Issue	30.09.2020

SUMMIT CARE 11-19 Frenchmans Road, Randwick

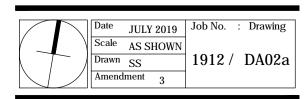
Drawing

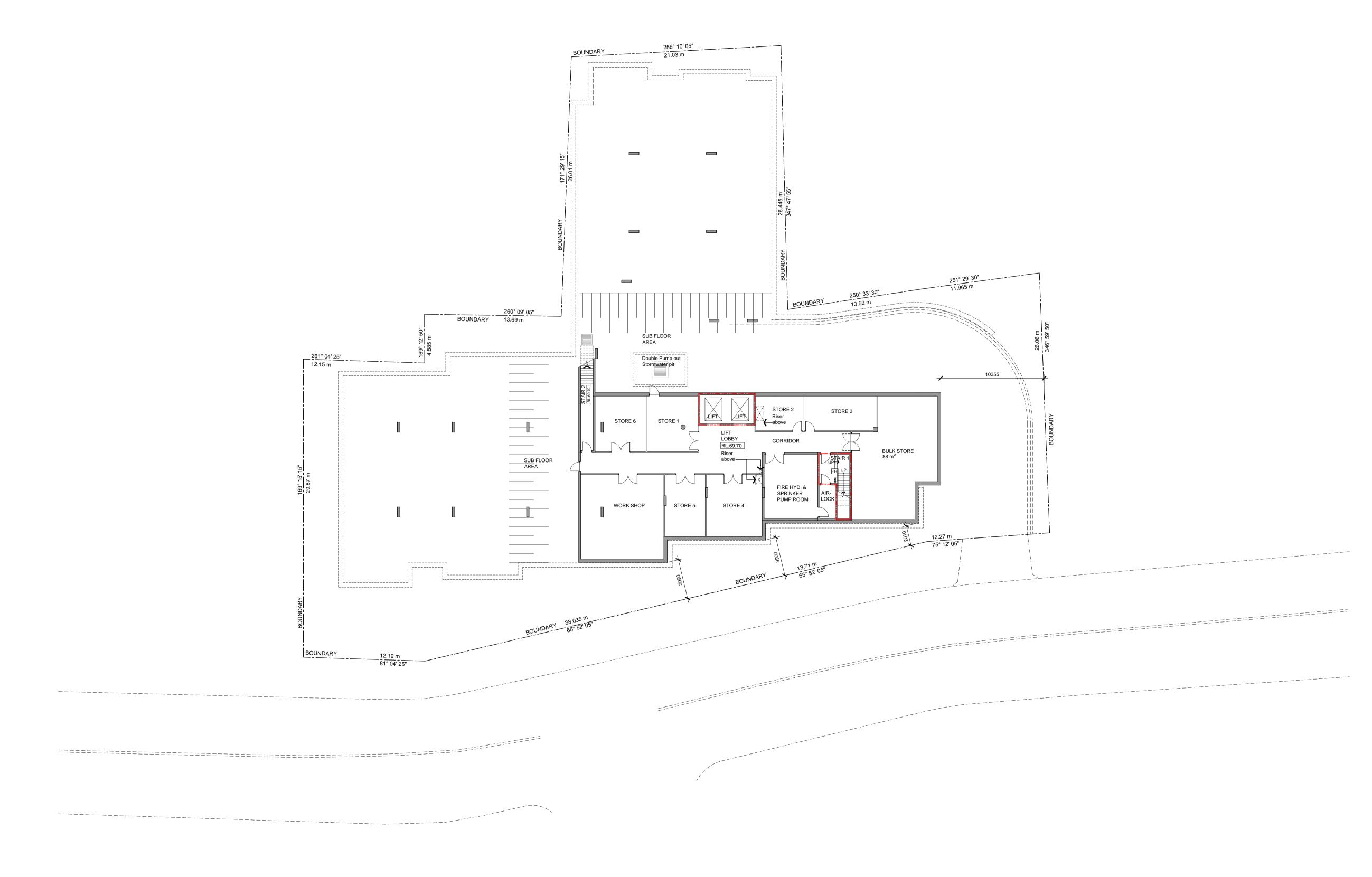
SITE ANALYSIS - LOCALITY PLAN



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LEGEND					
F	BOUNDARY				
	MASONRY WALL				
	STUD WALL				
(OUTLINE OF WALL ABOVE / BELOW				
F	ROOF OUTLINE				
1	NEW FENCE				
+ ex.RL.00.00	EXISTING LEVEL	S			
RL.00.00	PROPOSED LEV	ELS			
H H	PROPOSED DOO	OR			
	PROPOSED WIN	DOW	I		
	MOBILE BATH				
	CEILING FAN				
	ELEVATION TAG	i			
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ACOUSTIC	REQUIRE	MEI	NTS		
Rw	36 10.38mm lan	ninate	d OR Rw :	36 6/12/8 glass	
Rw	31 10mm monol	ithic (OR Rw 34	6/12/6 glass	
Rw	27 6mm monolit	hic O	R Rw 34 6	/12/6 glass	
NCC 2019 -	SECTION	J R	EQUIR	EMENTS	
Envelope Constr	uction		Total Sy: fa ?#KŁ	stem R-Value	
J1.3 Roof and	ceiling construction	on	≥	3.70	
J1.4 Roof lights			1	N/A	
J1.5a Total Syst construction (all f			≥	2.39	
J1.5b Total System internal wall ≥ 1.00 construction (between conditioned & unconditioned areas)			1.00		
J1.6a Floor construction ≥ 2.00 (above an unconditioned zone)			2.00		
J1.6b Floor cons (concrete slab on	truction		No insula	ation required	
Glazing - Frame Construction (Uniform solution	Orientation		al System SHGC	Total System SHGC	
J1.5c Total Windo Frame constructio			≤ 4.00	≤ 0.29	



11	Preliminary DA Issue	30.09.2020
10	Development Application Issue	07.09.2020
9	Development Application Issue for review	14.08.2020
8	Development Application Issue for review	11.08.2020
7	Preliminary Issue discussion	27.07.2020
6	Preliminary Issue for coordination	08.07.2020
5	Preliminary Issue for review & comment	06.07.2020
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	18.09.19
No.	Amendment	Date

11-19 Frenchmans Road, Randwick

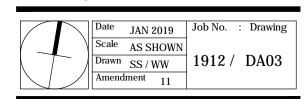
Drawing

LOWER BASEMENT FLOOR PLAN

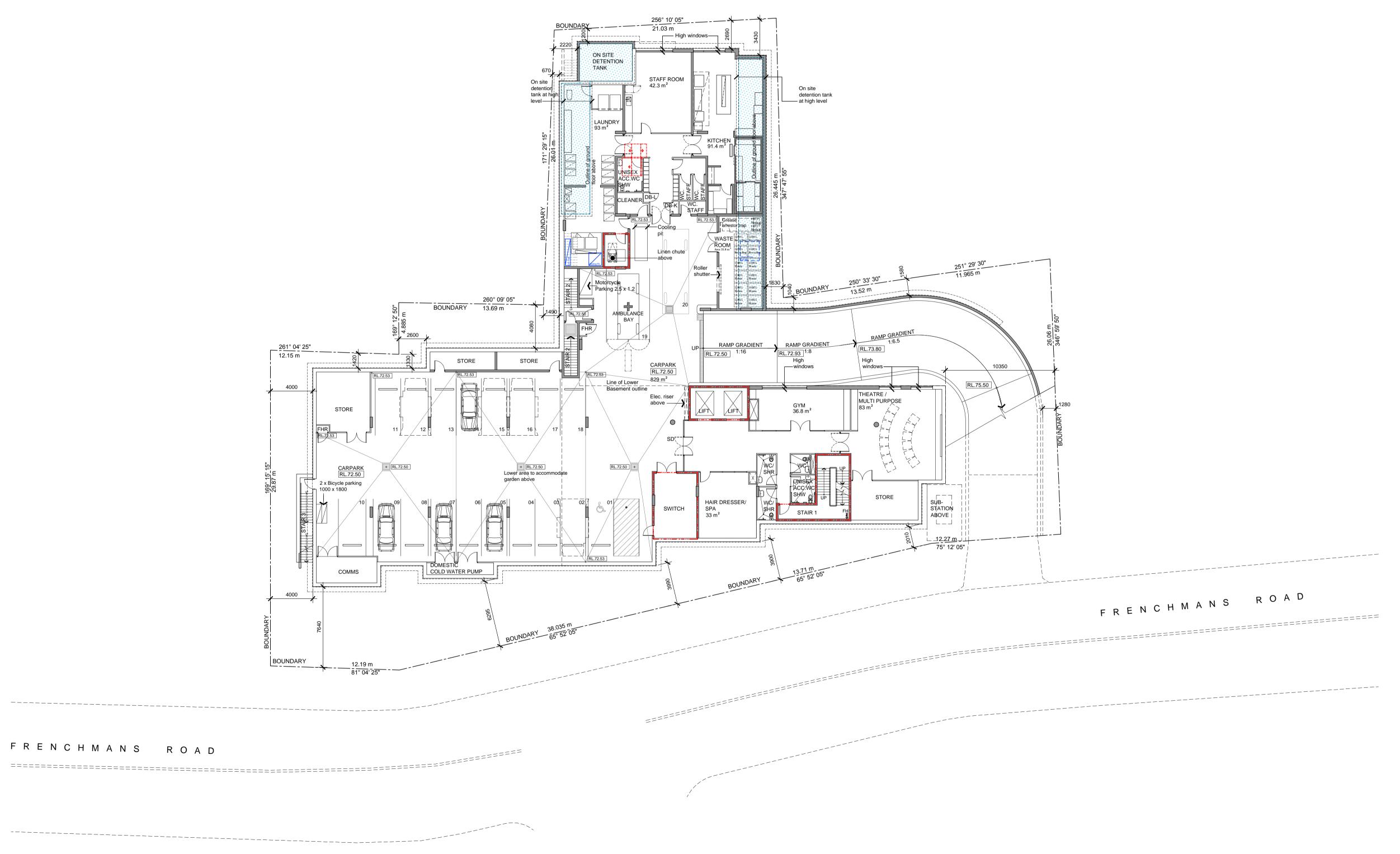


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LEGEND)				
	BOUNDARY				
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ACOUSTI	C R	EQUIREN	ЛЕN	NTS	
F	Rw 36	5 10.38mm lam	inate	d OR Rw (36 6/12/8 glass
F	Rw 31	10mm monoli	thic (OR Rw 34	6/12/6 glass
F	Rw 27	6mm monolith	nic O	R Rw 34 6	/12/6 glass
NCC 2019) - S	SECTION	J R	EQUIR	EMENTS
Envelope Con	struc	tion		Total Sys fla ?#KŁ	stem R-Value
J1.3 Roof an	d ceil	ing constructio	n	≥	3.70
J1.4 Roof lig	nts			1	N/A
J1.5a Total Sy construction (a				≥	2.39
construction (b	J1.5b Total System internal wall ≥ 1.00 construction (between conditioned & unconditioned areas)			1.00	
J1.6a Floor construction ≥ 2.00 (above an unconditioned zone)			2.00		
J1.6b Floor co (concrete slab				No insula	ation required
Glazing - Fram Construction (Uniform soluti		Orientation		al System SHGC	Total System SHGC
J1.5c Total Wir Frame construc		All facades		≤ 4.00	≤ 0.29



13	Preliminary DA Issue	30.09.2020
12	Development Application Issue	07.09.2020
11	Development Application Issue for review	14.08.2020
10	Development Application Issue for review	13.08.2020
9	Development Application Issue for review	11.08.2020
8	Preliminary Issue discussion	27.07.2020
7	Preliminary Issue for coordination	08.07.2020
6	Preliminary Issue for review & comment	06.07.2020
5	building outline modifed following changes on the upper level	27.04.20
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	18.09.19
No.	Amendment	Date

11-19 Frenchmans Road, Randwick

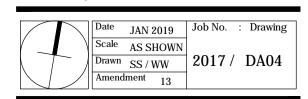
Drawing

BASEMENT FLOOR PLAN

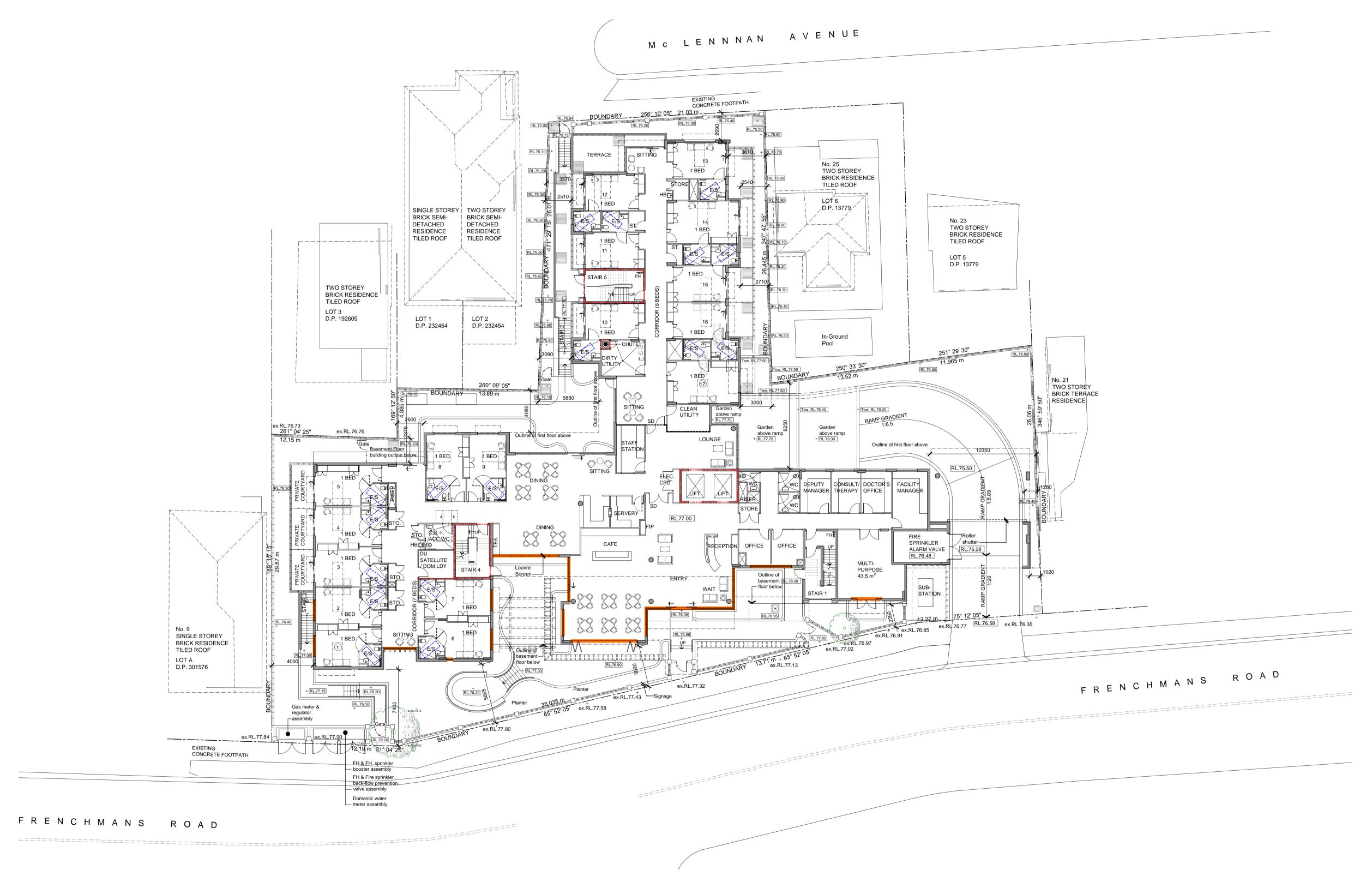


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ACOUSTIC	C R	EQUIREN	ЛЕÌ	NTS		
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R	lw 31	10mm monoli	thic (OR Rw 34	6/12/6 glass	
R	lw 27	6mm monolith	nic O	R Rw 34 6	/12/6 glass	
NCC 2019	- S	SECTION	J R	EQUIR	EMENTS	
Envelope Cons	struc	tion		Total Sy: fla ?#KŁ	stem R-Value	
J1.3 Roof and	d ceil	ing constructio	n	2	3.70	
J1.4 Roof ligh	nts			N/A		
J1.5a Total System Construction (all				≥ 2.39		
J1.5b Total System internal wall ≥ 1.00 construction (between conditioned & unconditioned areas)			1.00			
J1.6a Floor construction ≥ 2.00 (above an unconditioned zone)					2.00	
	J1.6b Floor construction No insulation required (concrete slab on ground)					
Glazing - Frame Construction (Uniform solution		Orientation		al System SHGC	Total System SHGC	
J1.5c Total Wind Frame construct		All facades		≤ 4.00	≤ 0.29	



14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
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11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
No.	Amendment	Date

11-19 Frenchmans Road, Randwick

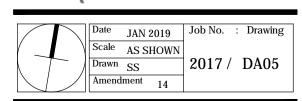
Drawing

GROUND FLOOR PLAN



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0m 2 5 SCALE: 1: 200 @ A1 SCALE: 1: 400 @ A3



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	STI	JD WALL						
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	RO	OF OUTLINE						
	NE	W FENCE						
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RL.00.00	PR	OPOSED LEV	ELS					
H H	PR	OPOSED DOC	R					
	PR	OPOSED WIN	DOW	1				
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ACOUST	IC R	EQUIREN	ЛЕÌ	NTS				
	Rw 36	6 10.38mm lam	inate	d OR Rw (36 6/12/8 glass			
	Rw 31	10mm monoli	thic (OR Rw 34	6/12/6 glass			
	Rw 27	6mm monolith	nic O	R Rw 34 6	/12/6 glass			
NCC 201	9 - 5	SECTION	J R	EQUIR	EMENTS			
Envelope Cor	nstruc	tion			Total System R-Value fa ?#KŁ			
J1.3 Roof ar	nd ceil	ing constructio	n	≥ 3.70				
J1.4 Roof lig	ghts			N/A				
J1.5a Total S construction (a				≥ 2.39				
J1.5b Total System internal wall ≥ 1.00 construction (between conditioned & unconditioned areas)				1.00				
J1.6a Floor construction ≥ 2.00 (above an unconditioned zone)					2.00			
	J1.6b Floor construction (concrete slab on ground) No insulation required							
Glazing - Fran Construction (Uniform solut		Orientation		al System SHGC	Total System SHGC			
J1.5c Total Wi Frame constru		All facades		≤ 4.00	≤ 0.29			



14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
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8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
No.	Amendment	Date

Project SUMMIT CARE 11-19 Frenchmans Road, Randwick

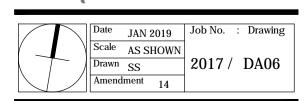
Drawing

FIRST FLOOR PLAN



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E M M S S C C C C C C C C C C C C C C C C			LEGEND						
Image: Normal state N Image: State S Image: State C Image: State F Image: State N		BOUNDARY							
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Rw	36 10.38mm lam	inate	d OR Rw 3	36 6/12/8 glass					
Rw	31 10mm monoli	thic C	DR Rw 34	6/12/6 glass					
Rw	27 6mm monolith	nic Ol	R Rw 34 6	/12/6 glass					
NCC 2019 -	SECTION	J R	EQUIR	EMENTS					
Envelope Constr	uction		Total Sys fla ?#KŁ	stem R-Value					
J1.3 Roof and c	eiling constructio	n	≥ 3.70						
J1.4 Roof lights			N/A						
J1.5a Total Systection construction (all factor)			≥ 2.39						
J1.5b Total System internal wall ≥ 1.00 construction (between conditioned & unconditioned areas)									
J1.6a Floor construction ≥ 2.00 (above an unconditioned zone)									
	J1.6b Floor construction (concrete slab on ground) No insulation required								
Glazing - Frame Construction (Uniform solution									
J1.5c Total Windo Frame construction			≤ 4.00	≤ 0.29					



14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
12	Development Application Issue for review	14.08.2020
11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree, Northern wing pulled back from boundary, Dwelling units to eastern wing converted to 8 bedrooms (10 beds)	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
3	Preliminary Issue	18.09.19
No.	Amendment	Date

Project SUMMIT CARE 11-19 Frenchmans Road, Randwick

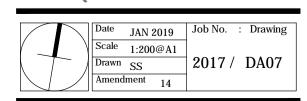
Drawing

SECOND FLOOR PLAN

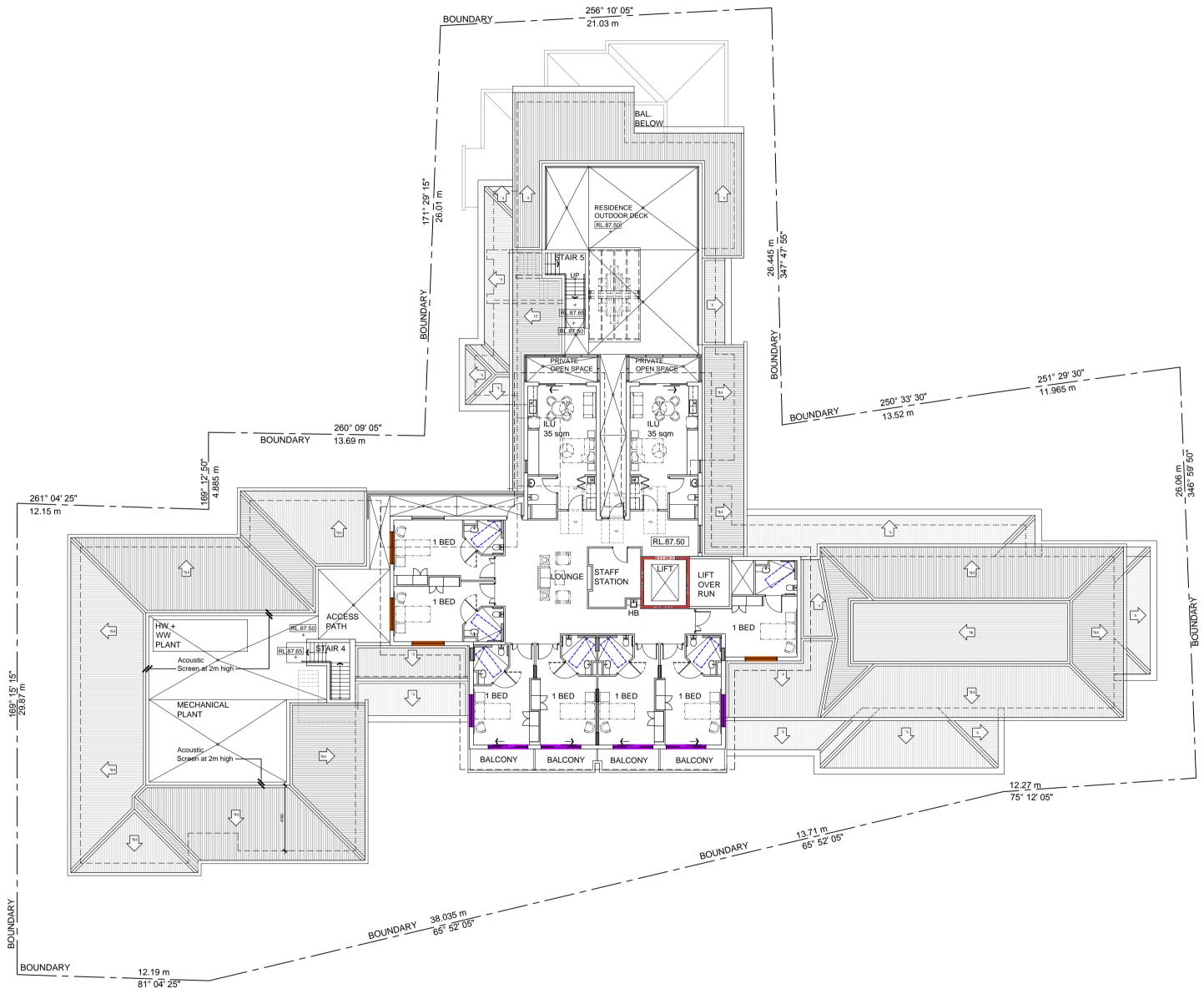


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15m



Floors	Concrete between levels, no insulation
	required
Walls	External walls: Brick Veneer with R2.0 insulation
	(insulation only value)
	External colour:
	Medium (0.475 <sa<0.7) Inter-tenancy walls:</sa<0.7)
	Minimum 75mm Hebel Power Panel to
	walls adjacent to neighbours and hallways, no insulation required.
	Internal walls (within units):
	Plasterboard on studs
Windows	Aluminium framed double glazing: U-value: 3.40 (equal to or lower than)
	SHGC: 0.33 (±10%)
	Given values are AFRC total window system values (glass and frame)
	Note: Openability modelled as per BASIX
	Thermal Protocol – 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regards
	to restricted openings
Ceilings	Plasterboard ceiling with R3.0 insulation
	(insulation only value) to where roof is above.
	Plasterboard ceiling, no insulation
	where neighbouring units are above. Note: Loss of ceiling insulation due to
	penetrations from down lights have
	been accounted for in accordance with BCA Technical Note 2 and Sealed LED
	down lights at a maximum of one every
	2.5m2
Roof	Metal roof with foil backed blanket (Ru1.3 and Rd1.3)
	External colour:
	Dark (SA > 0.7)
Floor coverings	Tiles to throughout
Hot water system	Central gas-fired boiler with R1.0
	(~38mm) insulation to ring main and supply risers
Fixtures	Showerheads: 4.0 star low flow
	(>4.5L but <=6.0L/min) Toilets: 4.0 star
	Kitchen taps: 5.0 star
	Bathroom vanity taps: 5.0 star
Cooling systems	Ceiling fans + single phase air
	conditioning to living areas and bedrooms: Min. 3 star
Heating systems	Ceiling fans + single phase air
.	conditioning to living areas and
	bedrooms: Min. 3 star
Appliances	Dish washer: 3.0 star water & 4.0 star energy rating
	Clothes washer: 3.0 star water & 4.0 star
	energy rating Clothes dryer: 6.0 star energy rating
	Refrigerator: 3.5 star energy rating
Ventilation in units	Kitchen - Individual fan, externally ducted
	to façade, manual on/off switch Bathrooms - Individual fan, externally
	ducted to façade, manual on/off switch
	Laundry - Individual fan, externally ducted to façade, manual on/off switch
	autoreu to lacade, manual un/un switch
O th an	
Other	Electric cooktop & electric oven Well-ventilated fridge space

Boffa Robertson Group. Any inconsistencies between drawn information and current Codes and Standards are to be notified immediately.						
LEGENI	D					
	- во	UNDARY				
	I MA	SONRY WALL				
	= STI	JD WALL				
	- OU	TLINE OF WA	LL AI	BOVE / BE	LOW	
	RO	OF OUTLINE				
NEW FENCE						
+ ex.RL.00.00	EXI	STING LEVEL	S			
RL.00.00	PR	OPOSED LEVI	ELS			
Ħ	PR	OPOSED DOC	R			
	B PR	OPOSED WIN	DOW	1		
MOBILE BATH						
X CD-00	ELE	ELEVATION TAG				
X (CD-00)	SE	CTION / ELEV	ΑΤΙΟ	N TAG		
ACOUST	IC R	EQUIREN	/IEN	NTS		
	Rw 36	3 10.38mm lam	inate	d OR Rw (36 6/12/8 glas	
	Rw 31	10mm monoli	thic (OR Rw 34	6/12/6 glass	
	Rw 27	6mm monolith	nic O	R Rw 34 6	/12/6 glass	
NCC 201	9 - 5	SECTION	J R	EQUIR	EMENTS	
Envelope Co	nstruc	tion		Total Sys fa ?#KŁ	stem R-Value	
J1.3 Roof a	nd ceil	ing constructio	n	≥ 3.70		
J1.4 Roof li	ghts			N/A		
J1.5a Total System external wall ≥ 2.39 construction (all facades)						
J1.5b Total System internal wall ≥ 1.00 construction (between conditioned & unconditioned areas)						
J1.6a Floor construction ≥ 2.00 (above an unconditioned zone)					2.00	
J1.6b Floor (concrete slat				No insula	ation require	
Glazing - Fran Construction (Uniform solu		Orientation		al System SHGC	Total Syster SHGC	



J1.5c Total WindowAll facades≤ 4.00≤ 0.29Frame construction

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8	Preliminary Issue for review & comment	06.07.2020
7	Meeting with PM	22.06.2020
6	2 x Dwelling Suite added and Plant ares modified.	21.05.2020
5	2 x Dwelling Suite added and Plant ares modified.	27.04.20
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
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Project SUMMIT CARE 11-19 Frenchmans Road, Randwick

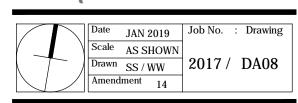
Drawing

THIRD FLOOR PLAN

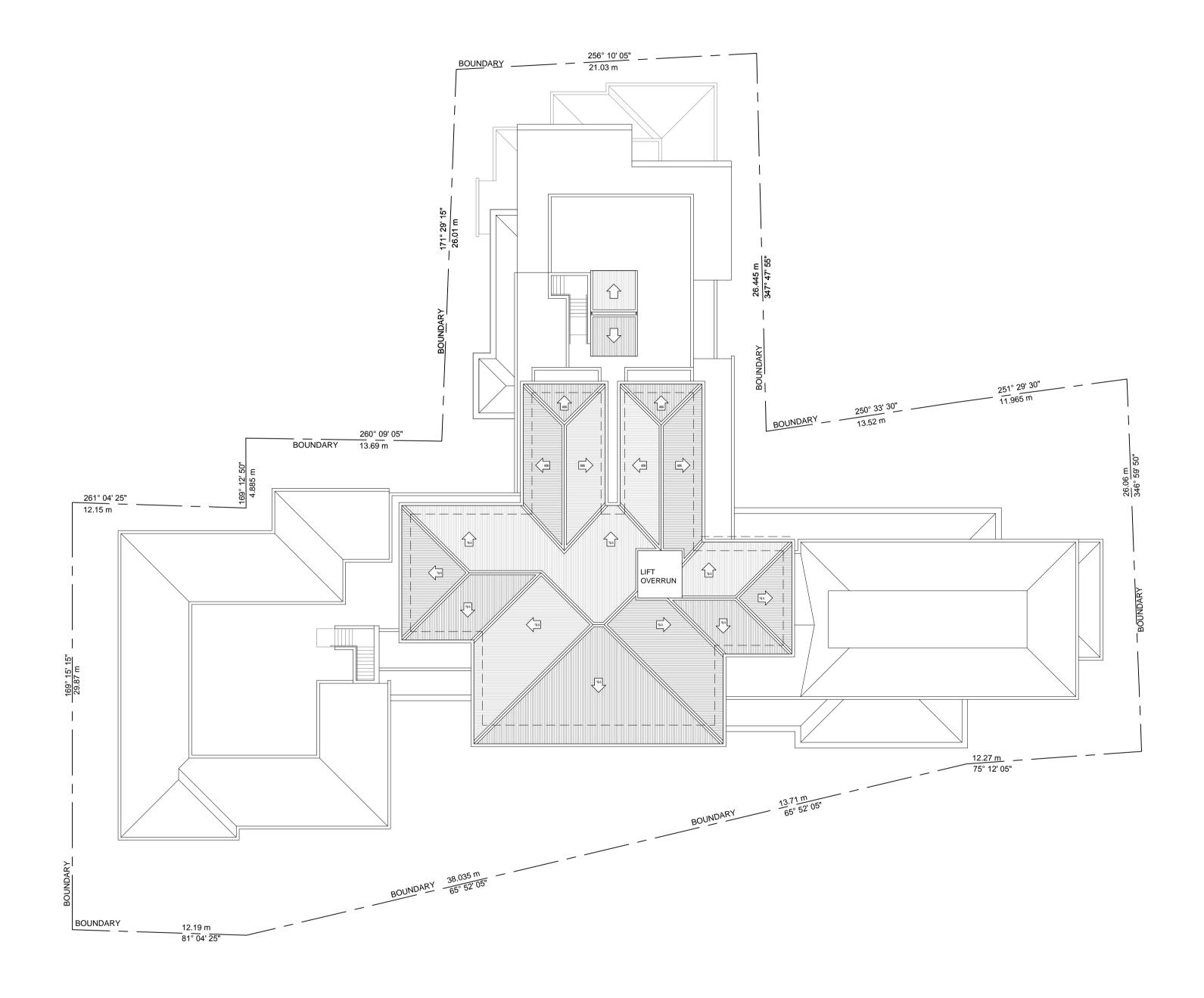


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15m



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LEGEND)					
	BO	UNDARY				
		SONRY WALL				
	STI	JD WALL				
	OU	TLINE OF WA	LL AI	BOVE / BE	LOW	
	RO	OF OUTLINE				
	NE	W FENCE				
+ ex.RL.00.00	EXI	STING LEVEL	S			
RL.00.00	PR	OPOSED LEVI	ELS			
H	PR	OPOSED DOC	R			
	PR	OPOSED WIN	DOW	1		
MOBILE BATH						
	LING FAN					
× (CD-00)	LEVATION TAG					
CD-00	SEG	CTION / ELEVATION TAG				
ACOUSTI	C R	EQUIREN	/IEN	NTS		
F	Rw 36	5 10.38mm lam	inate	d OR Rw (36 6/12/8 glass	
F	Rw 31	10mm monoli	thic (DR Rw 34	6/12/6 glass	
F	Rw 27	6mm monolith	nic O	R Rw 34 6	/12/6 glass	
NCC 2019) - S	SECTION	J R	EQUIR	EMENTS	
Envelope Cons	struc	tion		Total Sys fla ?#KŁ	stem R-Value	
J1.3 Roof and	d ceil	ing constructio	n	≥ 3.70		
J1.4 Roof ligh	nts			N/A		
J1.5a Total Sy construction (al				≥ 2.39		
J1.5b Total System internal wall ≥ 1.00 construction (between conditioned & unconditioned areas)			1.00			
J1.6a Floor construction (above an unconditioned zone)			≥ 2.00			
J1.6b Floor construction (concrete slab on ground) No insulation required					ation required	
Construction	Glazing - Frame Construction (Uniform solution)			al System SHGC	Total System SHGC	
J1.5c Total Win Frame construc		All facades		≤ 4.00	≤ 0.29	



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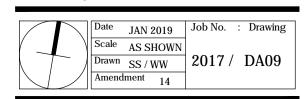
Drawing

ROOF PLAN

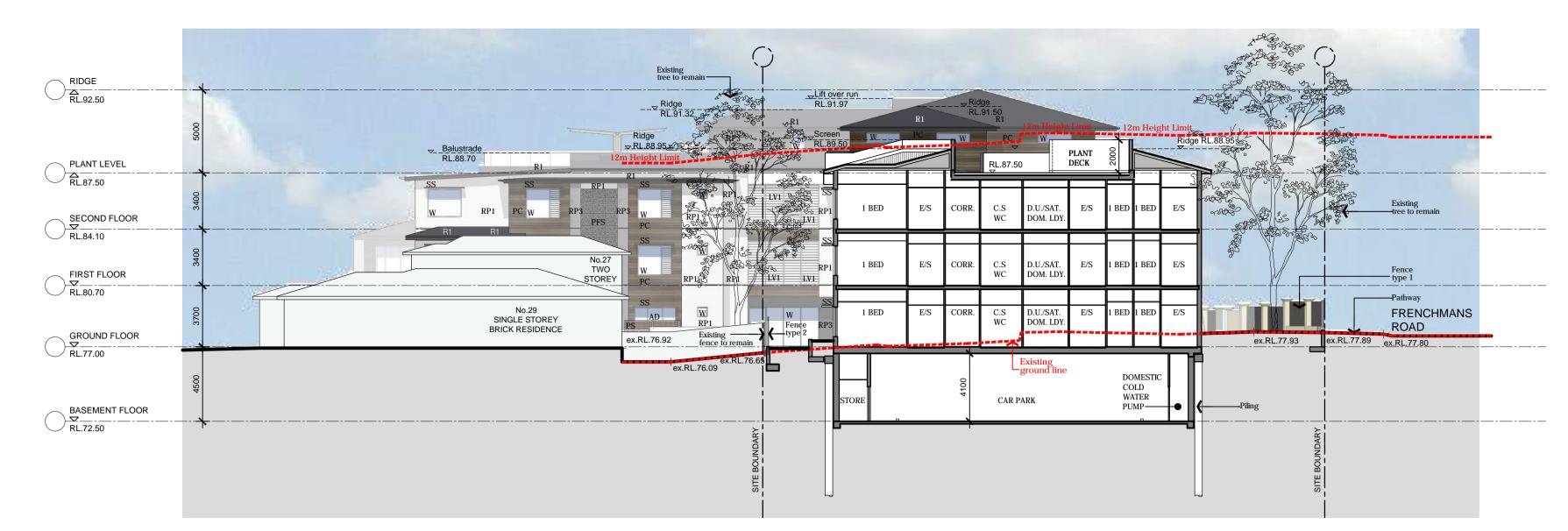


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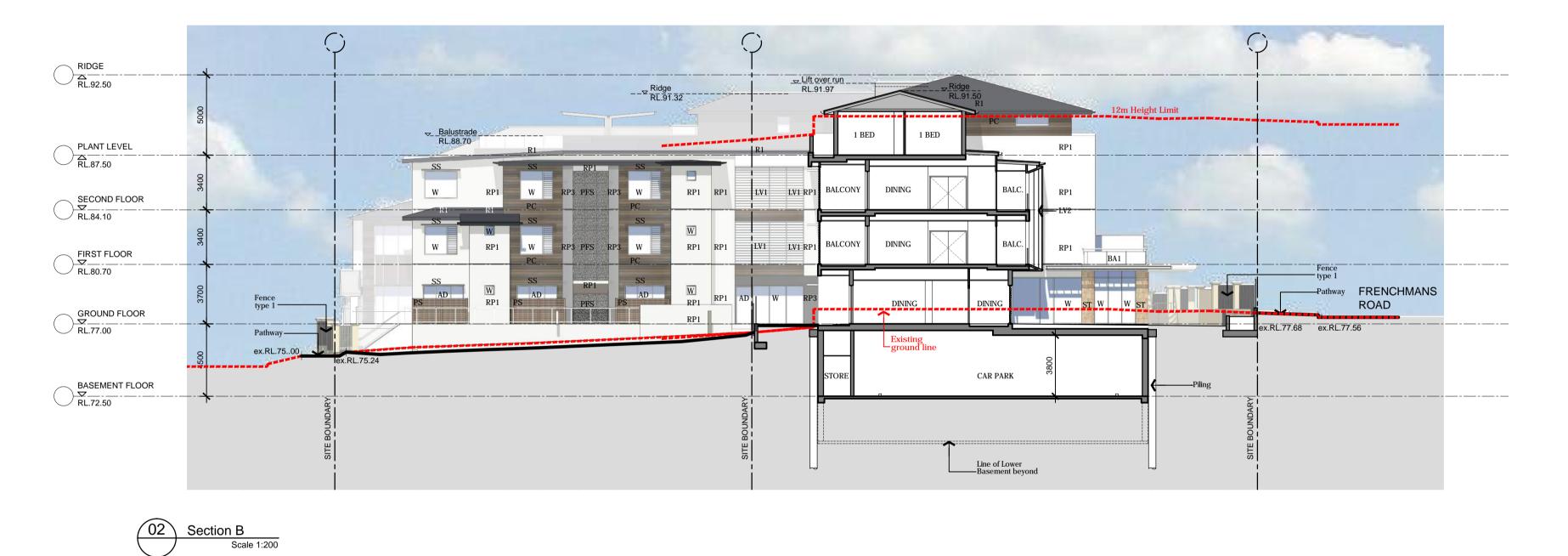
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15m

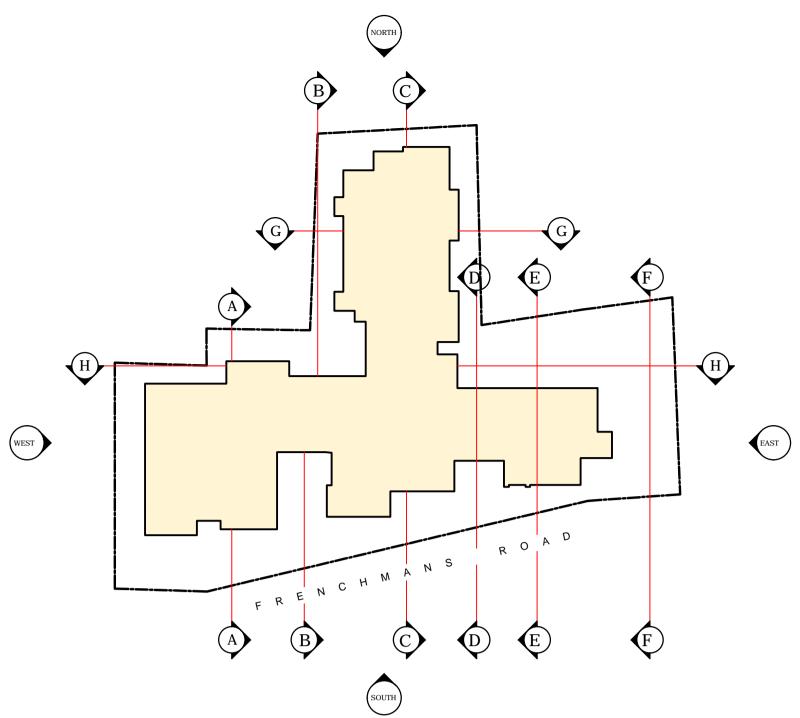


01 Section A Scale 1:200





03 Section C Scale 1:200



Key plan

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LEGE	IND				
AD	ALUMINIUM FRAMED DOORS				
BA1	BALUSTRADE - TYPE 1 (GLASS)				
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)				
EGL	EXISTING GROUND LINE				
FGL	FINISHED GROUND LINE				
LV1	LOUVRE - POWDER COATED				
LV2	LOUVRE DECORATIVE				
PC	PREFINISHED CLADDING (TIMBER LOOK)				
PFS	PERFORATED SCREEN - POWDER COATED				
PS	1800H PRIVACY SCREEN				
R1	ROOF, GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)				
RP1	RENDERED PAINTED WALL - COLOUR WHITE				
RP2	RENDERED PAINTED WALL - COLOUR BROWN				
RP3	RENDERED PAINTED WALL - COLOUR GREY				
RS	ROLLER SHUTTER - SILVER				
RW	RETAINING WALL - STONE CLADDING				
SS	SUN SHADING				
ST	STONE CLADING				
W	ALUMINIUM FRAMED WINDOWS				
FENC	CE TYPES				
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH				
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE				



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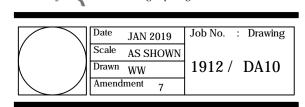
Project FRENCHMANS LODGE 11-15, 17 & 19 Frenchmans Road, RANDWICK Drawing

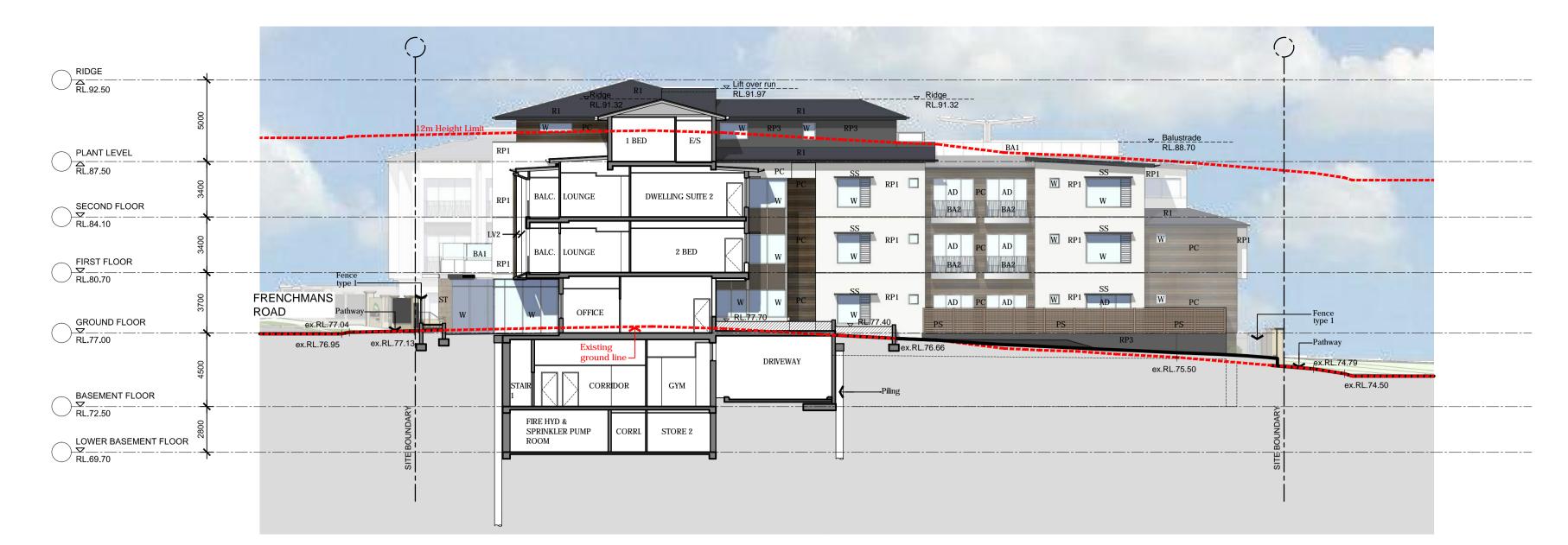
SECTIONS (A, B & C)

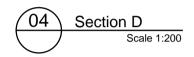


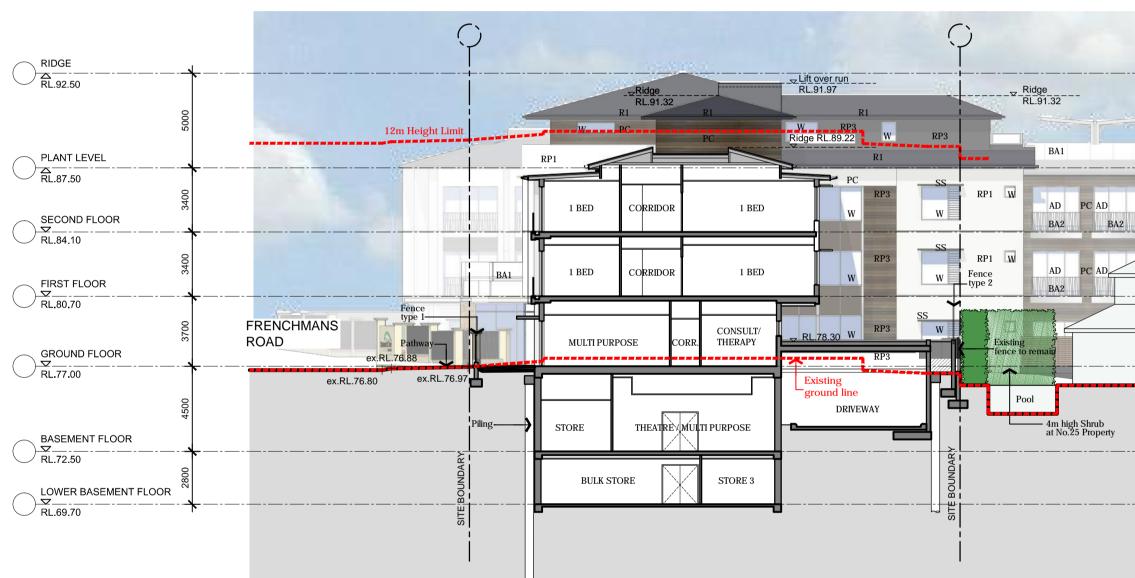
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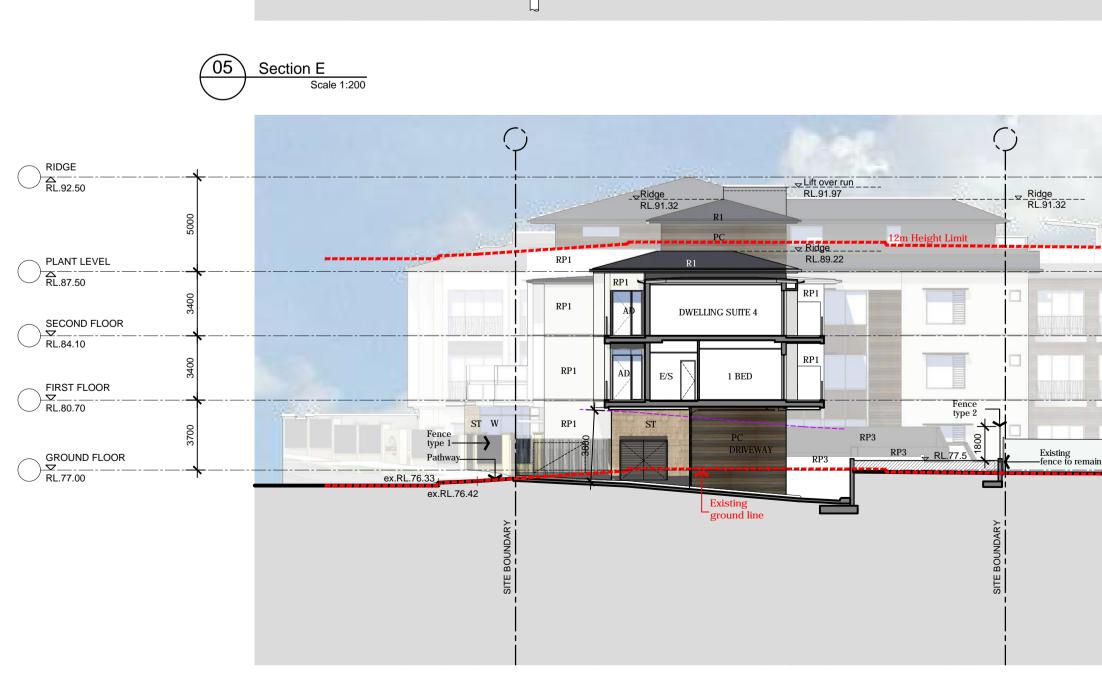
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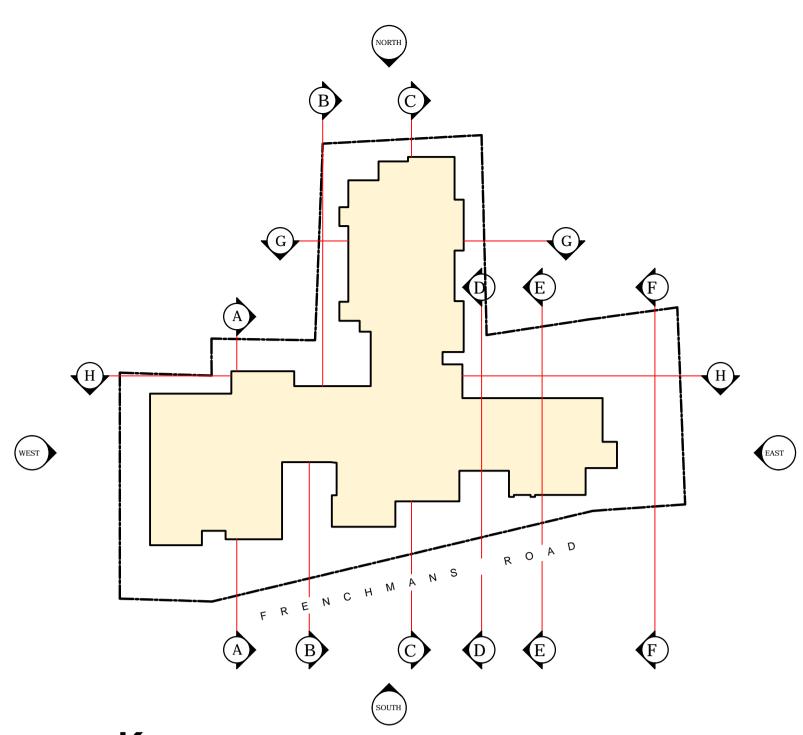






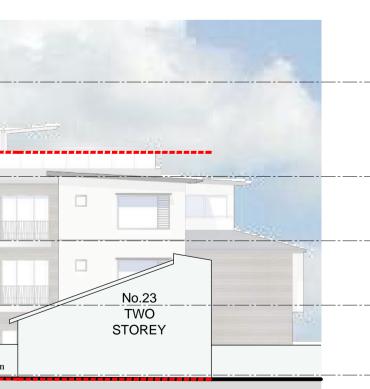


06 Section F Scale 1:200

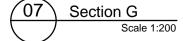


--⁻
Balustrade RL.88.70 W RP1 No.25 TWO STOREY MCLENNAN AVENUE

Key plan



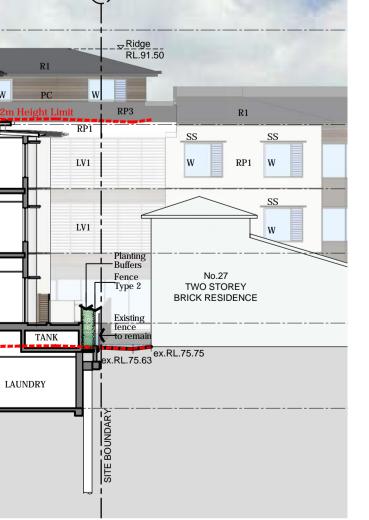
RIDGE	J		Ċ	Ţ.					
RL.92.50	·· `		Ridge RL.91.32	Lift ov RL.91	er run 97			R1	
	5000		_ Balustrade	Priv Co PC Sci	vate urtyard reen	RES	DENT DOOR	DECK	
PLANT LEVEL		R1							
SECOND FLOOR	3400	W RP1 W	w	RP1	E/S	E/S	STO.	CORRI.	1 BED
₩₩.		SSSS							
	3400	SS SS	Planting	RP1 Private Courtyard	E/S	E/S	STO.	CORRI.	1 BED
RL.80.70		NI- OF	Buffers	Screen					
	3700	No.25 TWO STOREY BRICK RESIDENC	E Fence Type 2	*	E/S	E/S	STO.	CORRI.	1 BED
RL.77.00	+		Existing fence to remain						
	0		ex.RL.75.95						°≈≈₽≈≈≈≈₽≈₽ ┠──
	4500		Piling —	g	xisting round line – KITCHEN	WC	STAFF	CORRID	OR WC/SHR
								COMIL	
RL.72.50			SITE BOUNDARY			ï			
	$\overline{(07)}$	Section G							



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BA1	BALUSTRADE - TYPE 1 (GLASS)
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Project

FRENCHMANS LODGE 11-15, 17 & 19 Frenchmans Road, RANDWICK Drawing

SECTIONS (D, E, F & G)

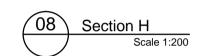


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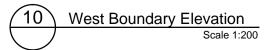
	Date JAN 2019	Job No. : Drawing
γ	Scale AS SHOWN	
	Drawn WW	1912 / DA11
	Amendment 7	

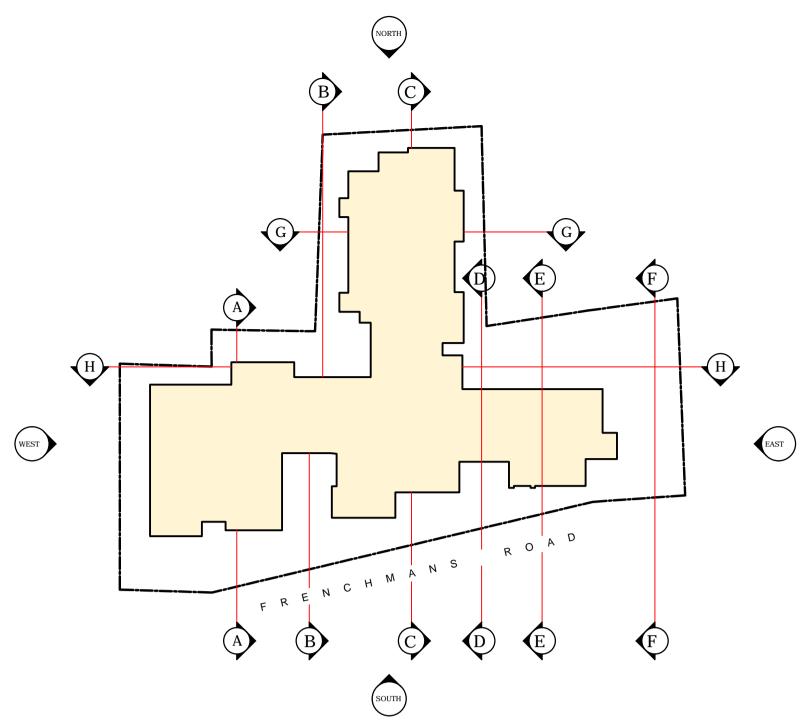












Key plan

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Project

FRENCHMANS LODGE

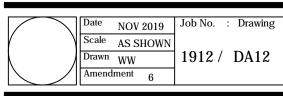
11-15, 17 & 19 Frenchmans Road, RANDWICK Drawing

SECTION H & ELEVATIONS (South & West Boundary)



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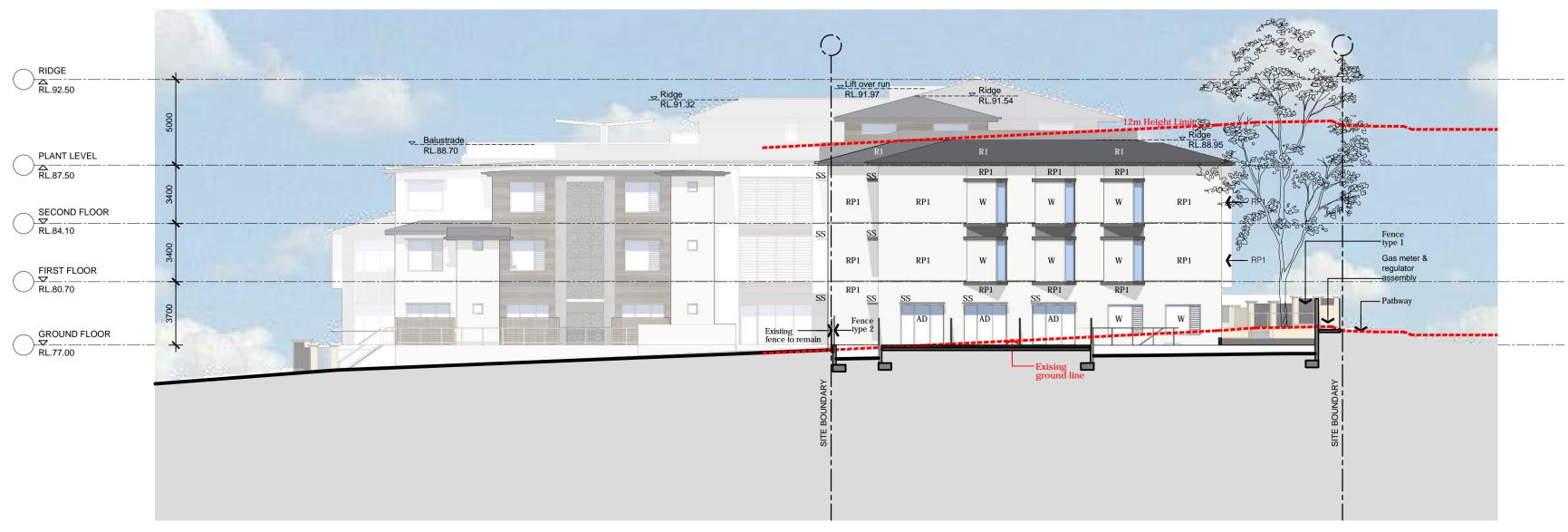
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	Ŷ	Ŷ	Ć.	
RL.92.50	RL.91.32	Ric	dge	- <u>-</u> RL.92.8
	RL.88.70	BA1 R1 R1	at Limit	
SECOND FLOOR	No.25 TWO STOREY	W RP1	No.27 No.29 TWO SINGLE STOREY STOREY	RL.87.5
FIRST FLOOR	SS RI SS RI State	PC W RP1 Existing tree to remain		
		SS RP1 SS W Existing		- FIRST RL.80.7
GROUND FLOOR	PS PS RP3 RP3	PC W RP1		GROUI SRL.77.0
	Existing fence to remain	ex.RL.75.24 Existing ground line		
	SITE BOUNDARY	BOUNDARY	BOUNDARY	
	SITE	SITE B	- SITE B	

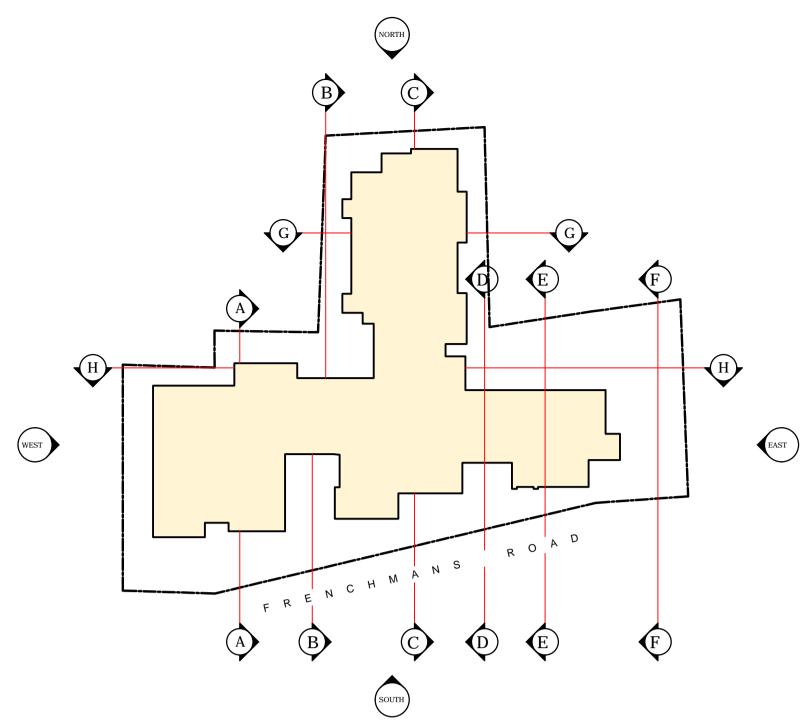
(11) NORTH ELEVATION Scale 1:200



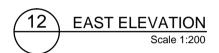








Key plan



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ELEVATIONS (North, East, South & West)



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	Drawn WW	1912 / DA13
	Amendment 8	



Ŷ	No.21 No.23 TWO TWO STOREY STOREY	No 25-27 FOUR STOREY	O O O O O O O O O O O O O O O O O O O	
				·

No.	Amendment	Date
1	Development Application Issue	19.12.19
2	Development Application Issue for review	12.08.2020
3	Development Application Issue for review	14.08.2020
4	Development Application Issue	07.09.2020
5	Preliminary DA Issue	30.09.2020

	Date	JAN	2019	Job No.	: Drawing
$\langle \rangle$	Scale	AS S	HOWN		
	Drawn	AL		1912 /	DA14
	Amend	ment	5		











4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
A	Preliminary Issue	00.06.19
No.	Amendment	Date

FRENCHMANS ROAD-PHOTOMONTAGE

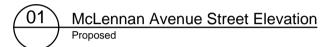


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 $\begin{array}{|c|c|c|c|c|c|}\hline Date & JULY 2019 \\\hline Scale & NTS @ A1 \\\hline Drawn & VI \\\hline Amendment & 4 \\\hline \end{array} \begin{array}{|c|c|c|c|c|c|}\hline Job No. & : & Drawing \\\hline 2017 / & DA15 \\\hline \end{array}$









02 McLennan Avenue Street Elevation Existing



03 View from Chapel Street Proposed



04 View from Chapel Street Existing





4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
A	Preliminary Issue	00.06.19
No.	Amendment	Date

FRENCHMANS LODGE 11-15, 17 & 19 Frenchmans Road, RANDWICK Drawing

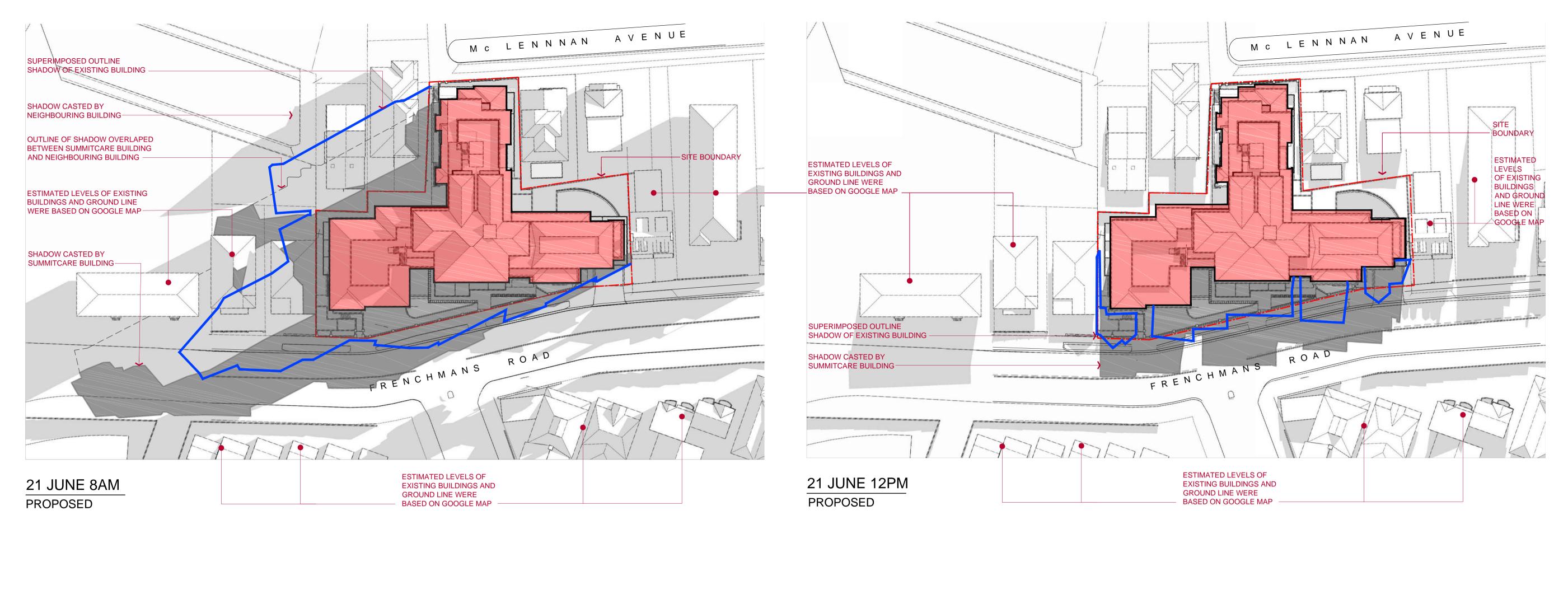
STREET ELEVATION @

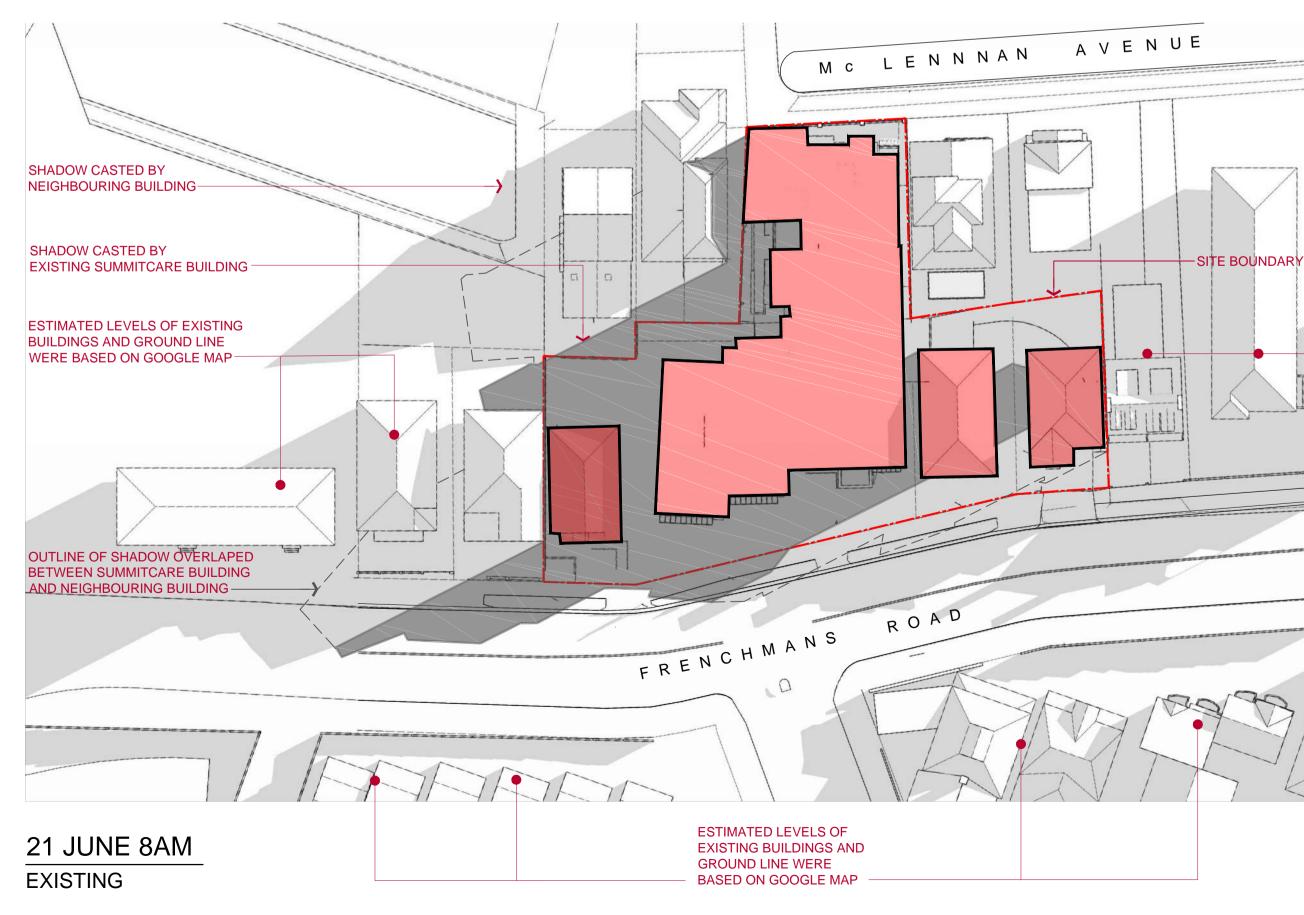
MCLENNAN AVENUE -PHOTOMONTAGE

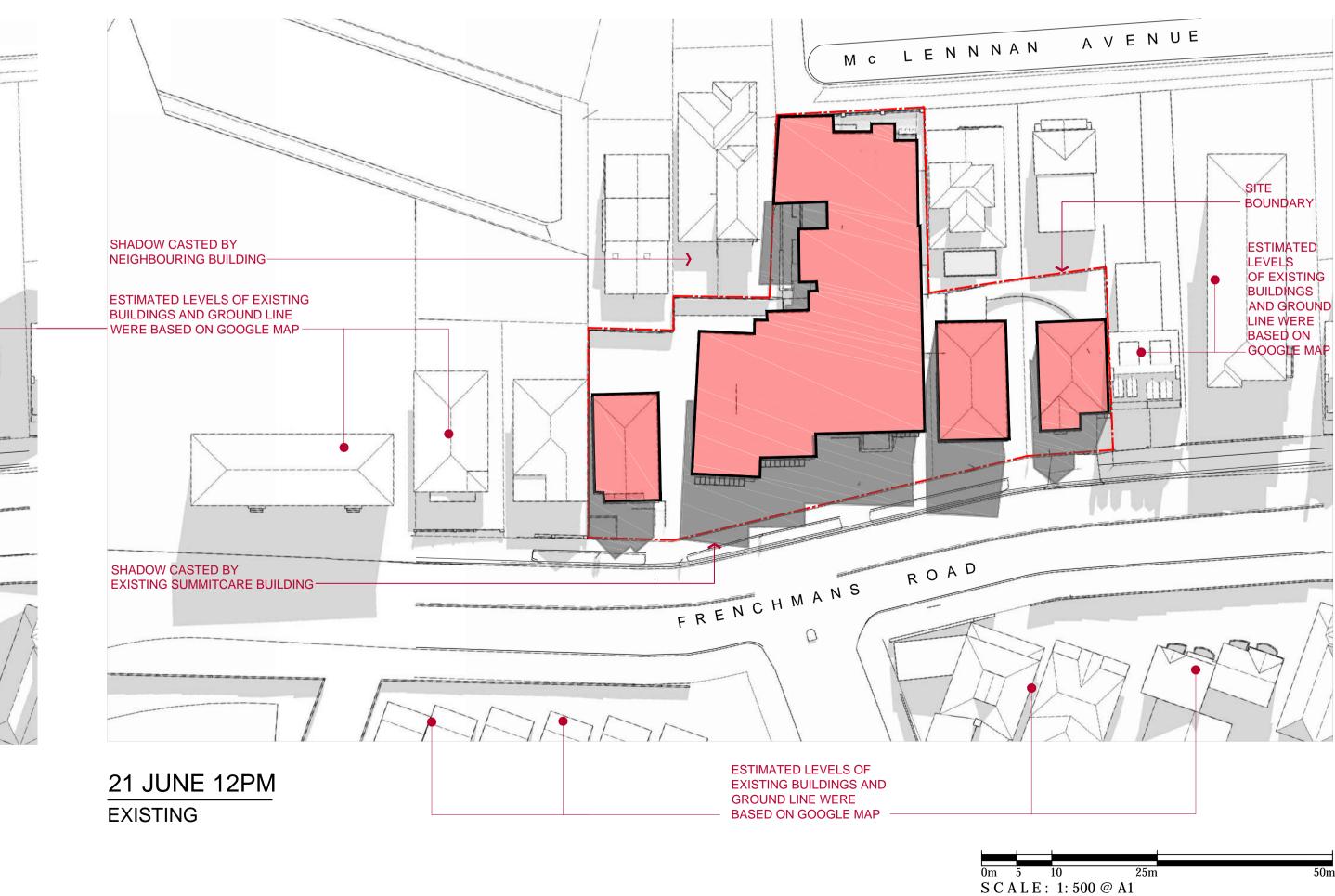


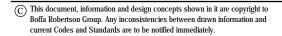
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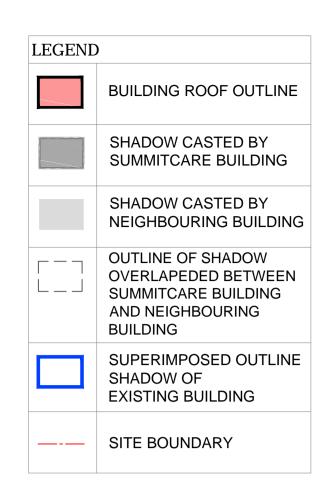
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Proj	ect ENCHMANS LODGE	
No.	Amendment	Date
1	Development Application Issue	19.12.19
2	Development Application Issue for review	14.08.2020
3	Development Application Issue	07.09.2020
4	Preliminary DA Issue	30.09.2020

11-15, 17 & 19 Frenchmans Road, RANDWICK Drawing

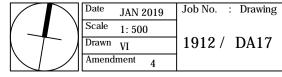
SHADOW DIAGRAMS

Existing & Proposed- 21June 8am & 12pm

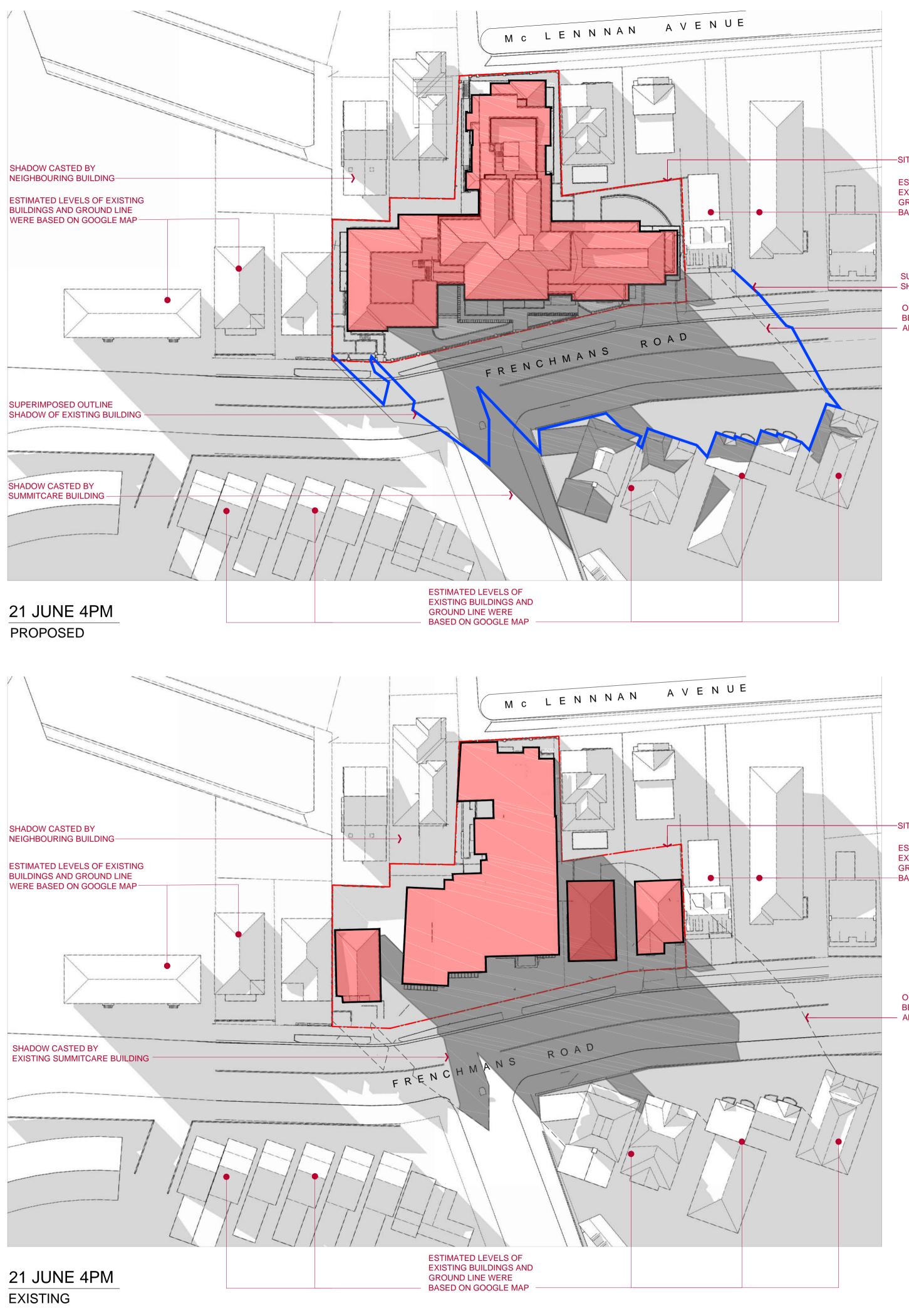
SUMMITCAR	E
offa robertson g	tro

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S C A L E : 1: 1000 @ A3



-SITE BOUNDARY

ESTIMATED LEVELS O EXISTING BUILDINGS / GROUND LINE WERE -BASED ON GOOGLE M

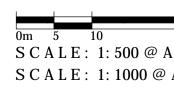
SUPERIMPOSED OUTI - SHADOW OF EXISTIN(

OUTLINE OF SHADOV **BETWEEN SUMMITCA** - AND NEIGHBOURING

-SITE BOUNDARY

ESTIMATED LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE —BASED ON GOOGLE MAP

OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING - AND NEIGHBOURING BUILDING



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LEGEND			
	BUILDING ROOF OUTLINE		
	SHADOW CASTED BY SUMMITCARE BUILDING		
	SHADOW CASTED BY NEIGHBOURING BUILDING		
	OUTLINE OF SHADOW OVERLAPEDED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING		
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING		
	SITE BOUNDARY		



4	Preliminary DA Issue	30.09.2020
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2	Development Application Issue for review	14.08.2020
1	Development Application Issue	19.12.19
No.	Amendment	Date

FRENCHMANS LODGE 11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing

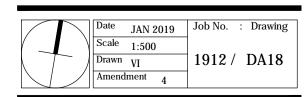
SHADOW DIAGRAMS

Existing & Proposed- 21June 4pm

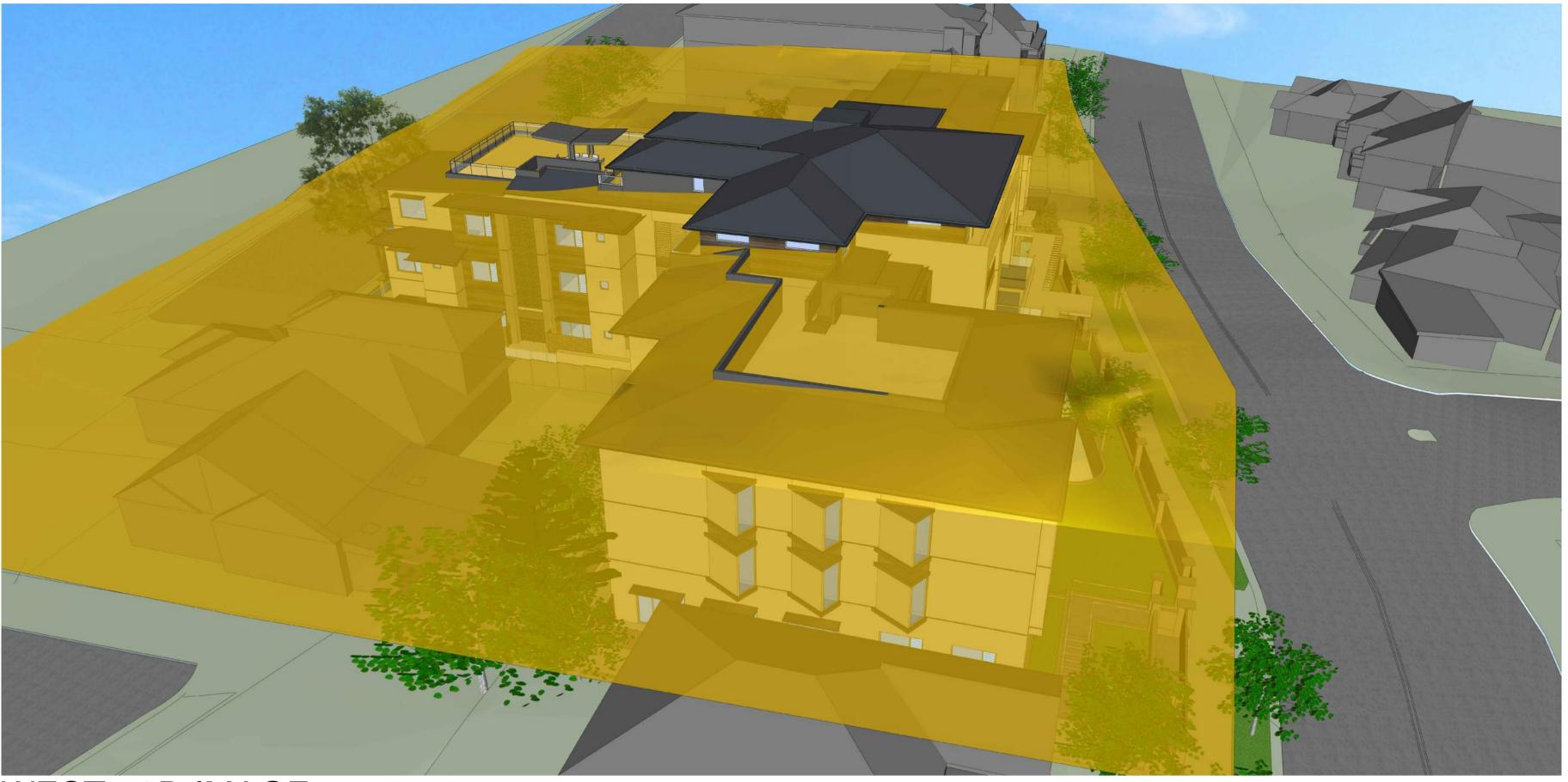


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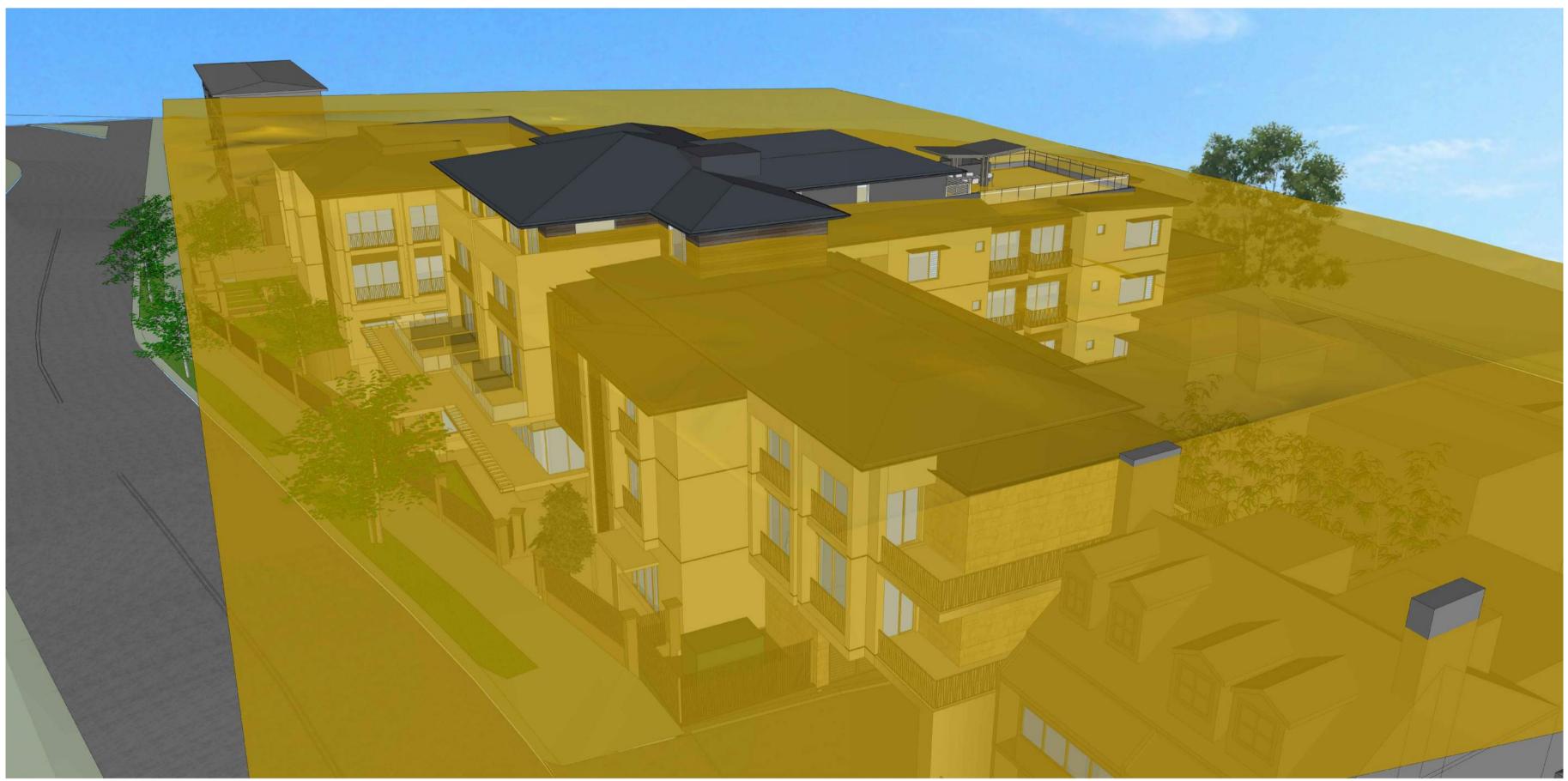
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S C A L E : 1: 1000 @ A3



WEST - 3D IMAGE

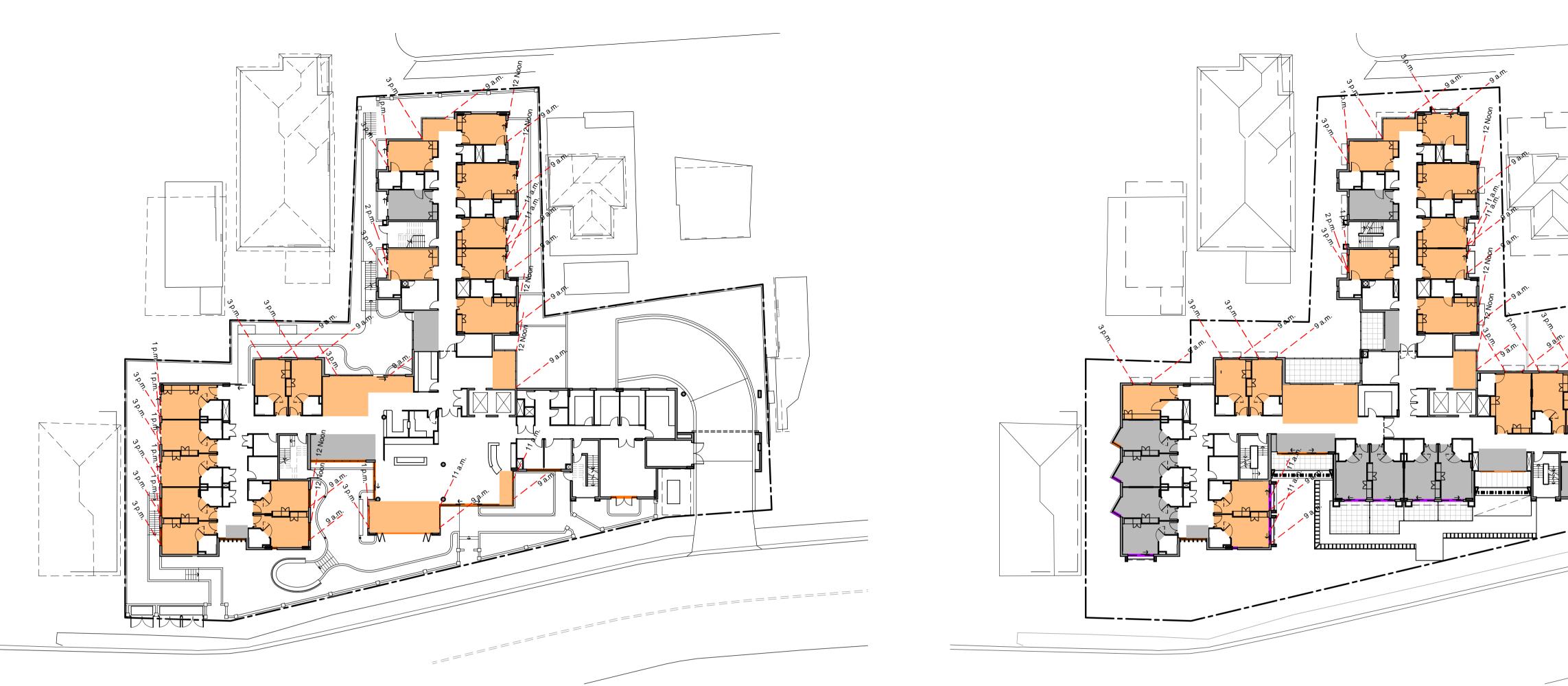


EAST - 3D IMAGE

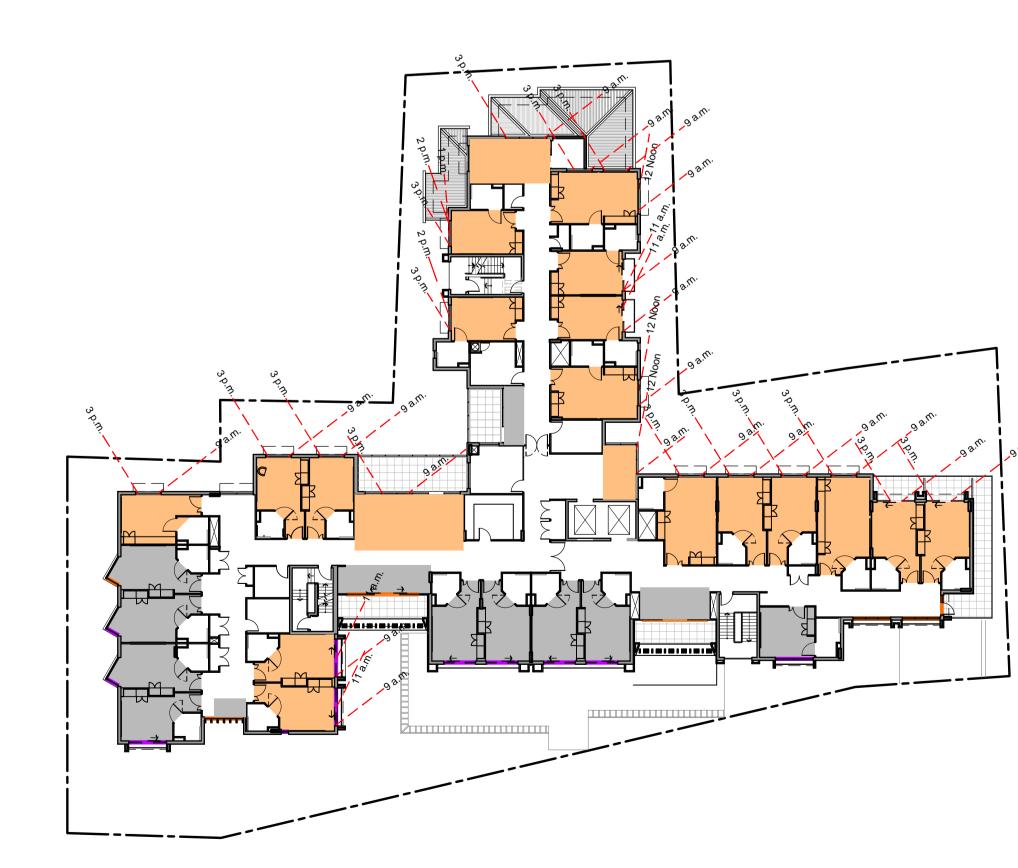
The above graphics are showing the 3D model of the proposed development with the 12m height control represented by a yellow coloured plane. These images demonstrate the extent of built form that penetrates the height control



1	Preliminary DA Issue	30.09.2020
No.	Amendment	Date
	ect ENCHMANS LODGE 15, 17 & 19 Frenchmans R	oad, RANDWICK
	^{ving} IMAGE Showing t form penetrating 12r	n height
	SUMMIT	CARE
	tecture, health and aged care plant becture, health and aged care plant because for the state of the state of the state because of the state of the state of the state because of the state of the state of the state of the state because of the state of the state of the state of the state because of the state of the st	ning, project management bica, 9 Railway Street 2067 99
	Date JAN 2019 Scale 1:500 Drawn SS Amendment 1	Job No. : Drawing 1912 / DA18a

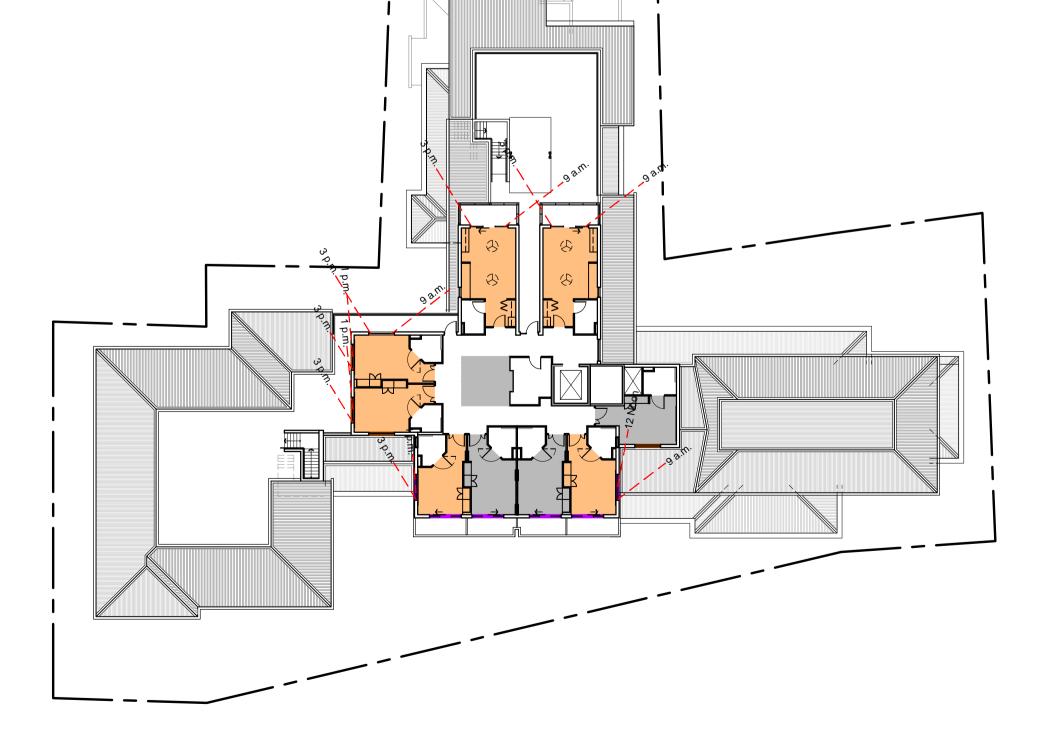


GROUND FLOOR PLAN

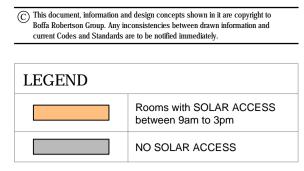


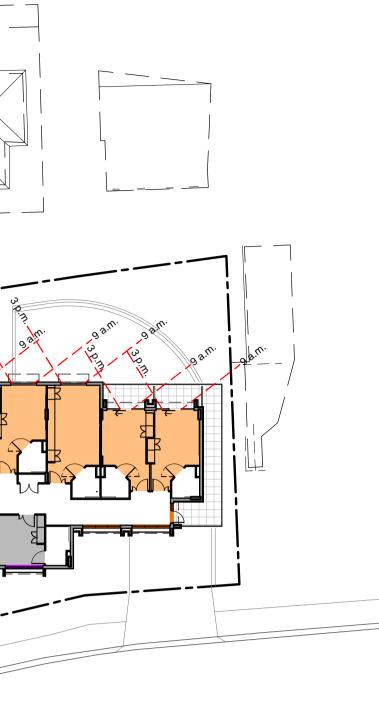
SECOND FLOOR PLAN

THIRD FLOOR PLAN









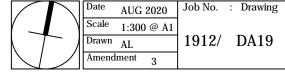


0m SCA	2 5 10 . L E: 1:300	20m
3	Preliminary DA Issue	30.09.202
2	Development Application Issue	07.09.202
1	Preliminary Issue	14.08.202
No.	Amendment	Date
Proj	ect	
FRI	ENCHMANS LODGE	

Drawing SOLAR ACCESS DIAGRAMS



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GROSS FLOOR AREA SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE) LOWER -BASEMENT.FL. BASEMENT.FL. -GROUND FL. 905.8 m² FIRST FL. 1,278.9 m² SECOND FL. 1,231.0 m² THIRD FL. 369.6 m² TOTAL 3,785.2 m²



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020
No.	Amendment	Date

SUMMIT CARE

11-19 Frenchmans Road, Randwick

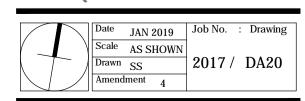
Drawing

GROSS FLOOR AREA DIAGRAM GROUND FLOOR PLAN



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0m 2 5 SCALE: 1: 200 @ A1 SCALE: 1: 400 @ A3



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GROSS FLOOR AREA SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE) LOWER -BASEMENT.FL. BASEMENT.FL. -GROUND FL. 905.8 m² FIRST FL. 1,278.9 m² SECOND FL. 1,231.0 m² THIRD FL. 369.6 m² TOTAL 3,785.2 m²



3		
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020
No.	Amendment	Date

SUMMIT CARE

11-19 Frenchmans Road, Randwick

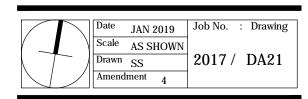
Drawing

GROSS FLOOR AREA DIAGRAM FIRST FLOOR PLAN



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0m 2 5 S C A L E : 1: 200 @ A1 S C A L E : 1: 400 @ A3

15m



EXCLUDED AREA GFA : 107.6m²

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4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020
No.	Amendment	Date

SUMMIT CARE

11-19 Frenchmans Road, Randwick

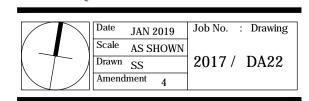
Drawing

GROSS FLOOR AREA DIAGRAM -SECOND FLOOR PLAN

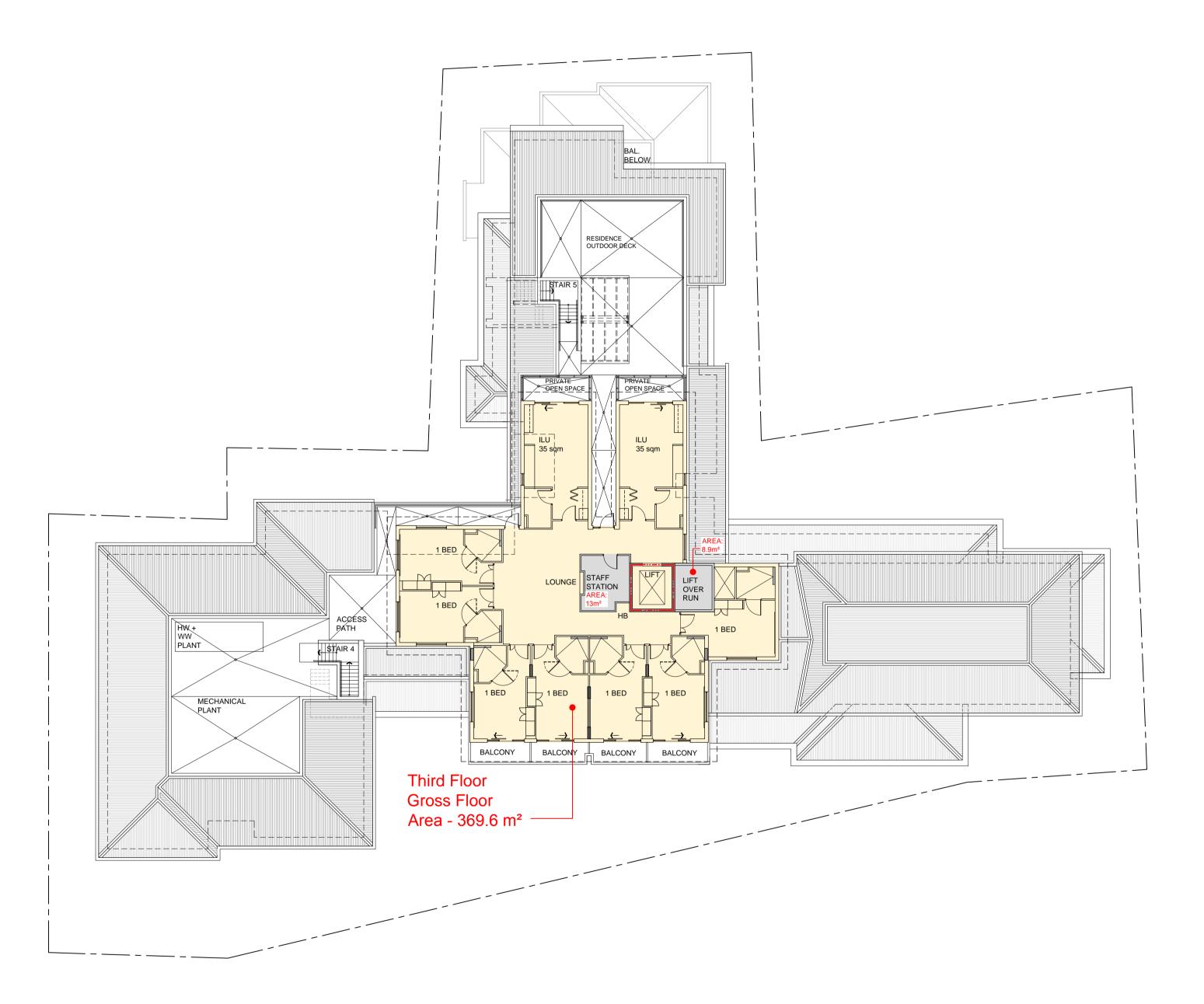


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15m



EXCLUDED AREA GFA : 21.3 m²

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4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020
No.	Amendment	Date

SUMMIT CARE

11-19 Frenchmans Road, Randwick

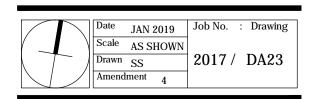
Drawing

GROSS FLOOR AREA DIAGRAM -THIRD FLOOR PLAN

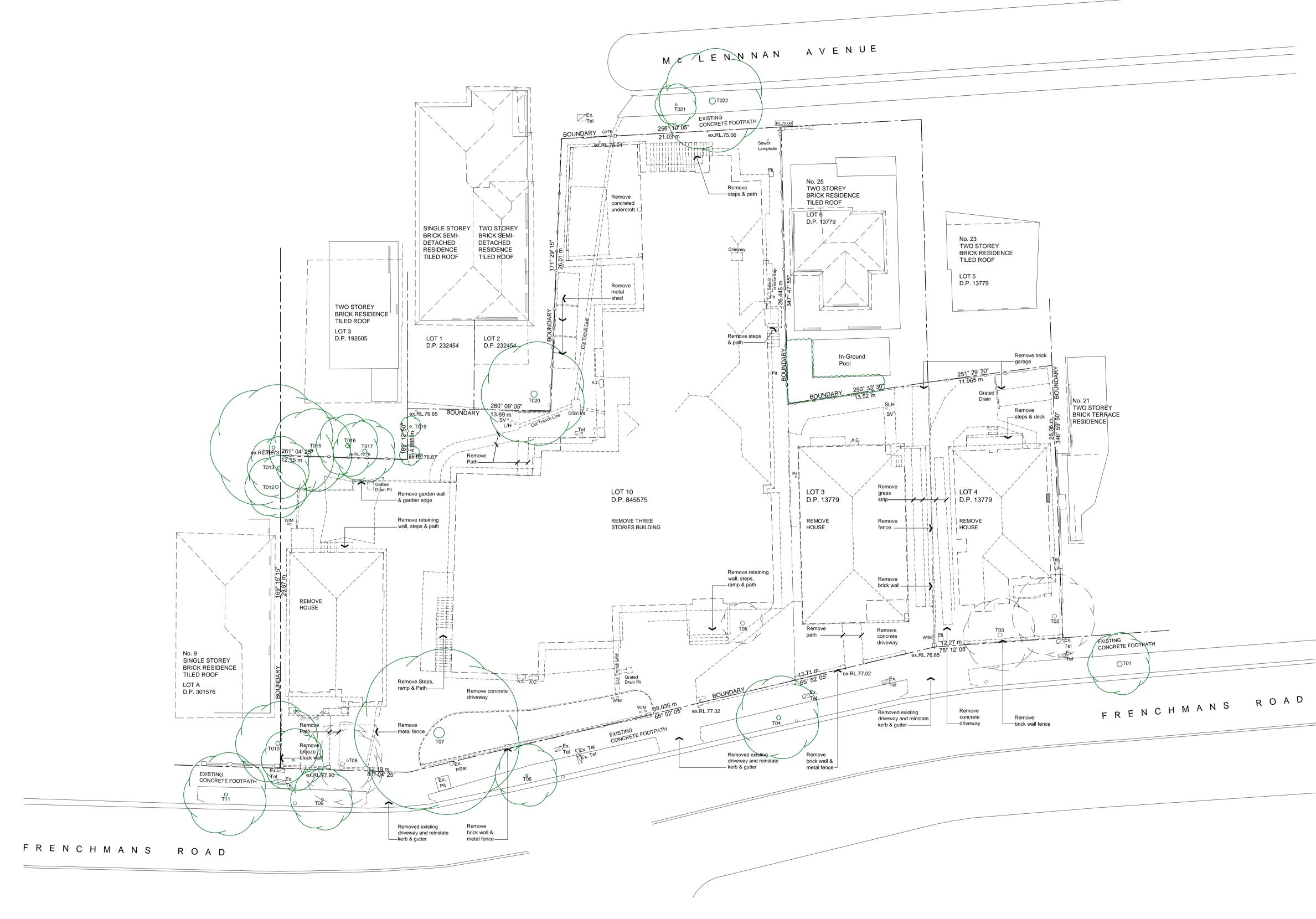


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15m



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LEGEND	
	BOUNDARY
	EXISTING WALLS, DOORS, WINDOWS, FENCE, RETAINING WALL, SANITARY'S, DRIVEWAY, PATH, PIT, SERVICES TO BE REMOVED
	EXISTING FENCE TO BE RETAINED
	EXISTING TREES TO REMAIN
	TREES TO BE REMOVED
+ ex.RL.0.0	EXISTING LEVELS
RL.00.00	PROPOSED LEVELS



No.	Amendment	Date
1	Development application issue	19.12.19
2	Development Application Issue for review	11.08.2020
3	Development Application Issue for review	14.08.2020
4	Development Application Issue	07.09.2020
5	Preliminary DA Issue	30.09.2020

Project SUMMIT CARE

11-19 Frenchmans Road, Randwick

Drawing

DEMOLITION PLAN



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