

P R O P O S E D

# RESIDENTIAL CARE FACILITY

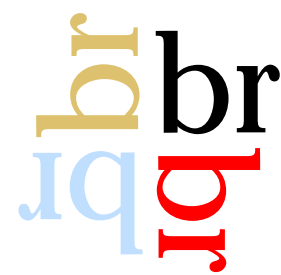
11-19 Frenchmans Road, Randwick, NSW

Drawing List

DWG. No.	Drawing Title	Scale	Size
DA00	- Cover Page	NTS	A1
DA01	- Site Plan	1:200	A1
DA02	- Site Analysis	1:200	A1
DA02a	- Site Anayis - Locality Plan	NTS	A1
DA03	- Lower Basement Floor Plan	1:200	A1
DA04	- Basement Floor Plan	1:200	A1
DA05	- Ground Floor Plan	1:200	A1
DA06	- First Floor Plan	1:200	A1
DA07	- Second Floor Plan	1:200	A1
DA08	- Third Floor Plan	1:200	A1
DA09	- Roof Plan	1:200	A1
DA10	- Sections (A,B & C)	1:200	A1
DA11	- Sections (D, E, F & G)	1:200	A1
DA12	- Section H & Elevations (South & West Boundary)	1:200	A1
DA13	- Elevations (North, East, South & West)	1:200	A1
DA14	- Street Elevations Proposed	1:200	A1
DA15	- Street Elevation @ Frenchmans Road - Photomontage	NTS	A1
DA16	- Street Elevation @ McLennan Avenue - Photomontage	NTS	A1
DA17	- Shadow Diagrams Existing & Proposed (21 June 8am. & 12 pm.)	1:500	A1
DA18	- Shadow diagrams Existing & Proposed (21 June 4 pm.)	1:500	A1
DA18a	- 3D Image Showing Built form penetrating 12m Height	NTS	A1
DA19	- Solar Access Diagrams	NTS	A1
DA20	- Gross Floor Area Diagram - Ground Floor Plan	1:200	A1
DA21	- Gross Floor Area Diagram - First Floor Plan	1:200	A1
DA22	- Gross Floor Area Diagram - Second Floor Plan	1:200	A1
DA23	- Gross Floor Area Diagram - Third Floor Plan	1:200	A1
DA24	- Demolition Plan	1:200	A1



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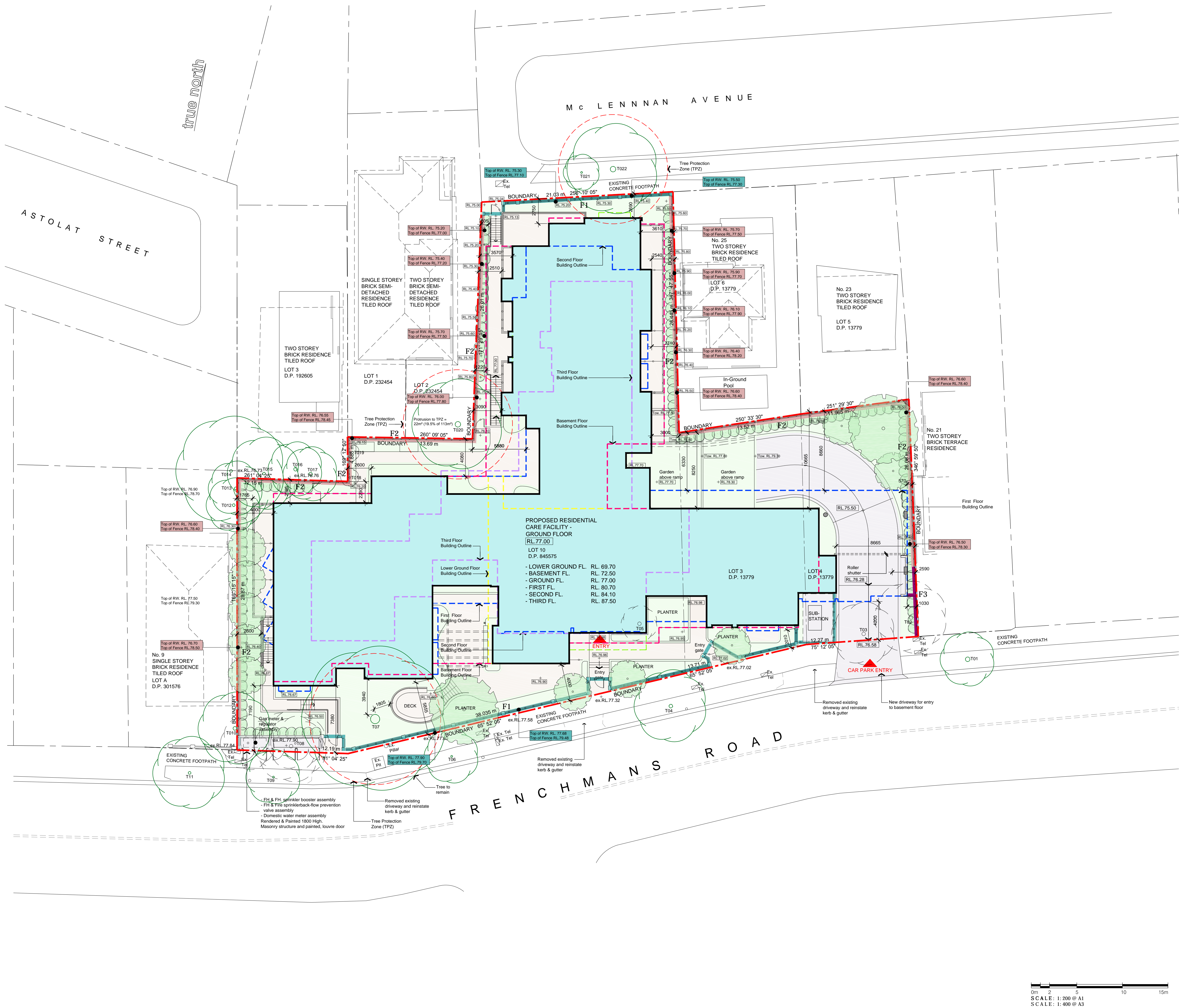


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PRELIMINARY DA ISSUE  
30.09. 2020

2017 DA00





DEVELOPMENT STATISTIC			
SITE AREA		2,709.7 m <sup>2</sup>	
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)	
LOWER BASEMENT.FL.	521.6 m <sup>2</sup>	-	
BASEMENT.FL.	1,557.2 m <sup>2</sup>	-	
GROUND FL.	1,340.2 m <sup>2</sup>	905.8 m <sup>2</sup>	
FIRST FL.	1,393.4 m <sup>2</sup>	1,278.9 m <sup>2</sup>	
SECOND FL.	1,338.6 m <sup>2</sup>	1,231.0 m <sup>2</sup>	
THIRD FL.	391.0 m <sup>2</sup>	369.6 m <sup>2</sup>	
TOTAL	6,541.9 m <sup>2</sup>	3,785.2 m <sup>2</sup>	
FSR		1.397 : 1	
CARPARKING / AMBULANCE		19+1= 20 spaces	
LANDSCAPE AREA		1,130.3 m <sup>2</sup>	
LANDSCAPE AREA PER BED		13.14 m <sup>2</sup>	
RESIDENT ACCOMMODATION			
	1 BED	2 BED	TOTAL
GROUND FL.	17	0	17
FIRST FL.	24	4 x 2	32
SECOND FL.	22	4 x 2	30
THIRD FL.	7	0	7
TOTAL NUMBER OF THIRD FL. ILUs			= 2
TOTAL NUMBER OF BEDS			= 86
TOTAL NUMBER OF ROOMS			78 + 2 = 80

LEGEND	
	PROPOSED RCF
	BOUNDARY
	SOFT LANDSCAPE
	HARD LANDSCAPE
	FENCE TYPE 1
	FENCE TYPE 2
	+ ex RL.76.80 EXISTING LEVEL RL.
	+ [RL.76.80] NEW FINISHED LEVEL RL.
	+ [TOW RL.] PROPOSED TOP OF WALL LEVEL
	--- LOWER GROUND FLOOR
	--- BASEMENT FLOOR
	--- FIRST FLOOR
	--- SECOND FLOOR
	--- THIRD FLOOR
	PROPOSED ROADS AND DRIVEWAYS
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH + EXISTING FENCE
F2	1800H COLORBOND STEEL FENCING & RETAINING WALL + EXISTING FENCE
F3	1800H COLORBOND STEEL FENCING + EXISTING FENCE
NOTE: - ALL EXISTING FENCING EXCEPT FOR FRENCHMANS ROAD AND Mc LENNAN AVENUE BOUNDARIES TO REMAIN. NEW FENCING TO BE BUILT INSIDE THE BOUNDARY ADJACENT	



5	Preliminary DA Issue	30.09.2020
4	Development Application Issue	07.09.2020
3	Development Application Issue for review	14.08.2020
2	Development Application Issue for review	11.08.2020
1	Development application issue	19.12.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
SITE PLAN



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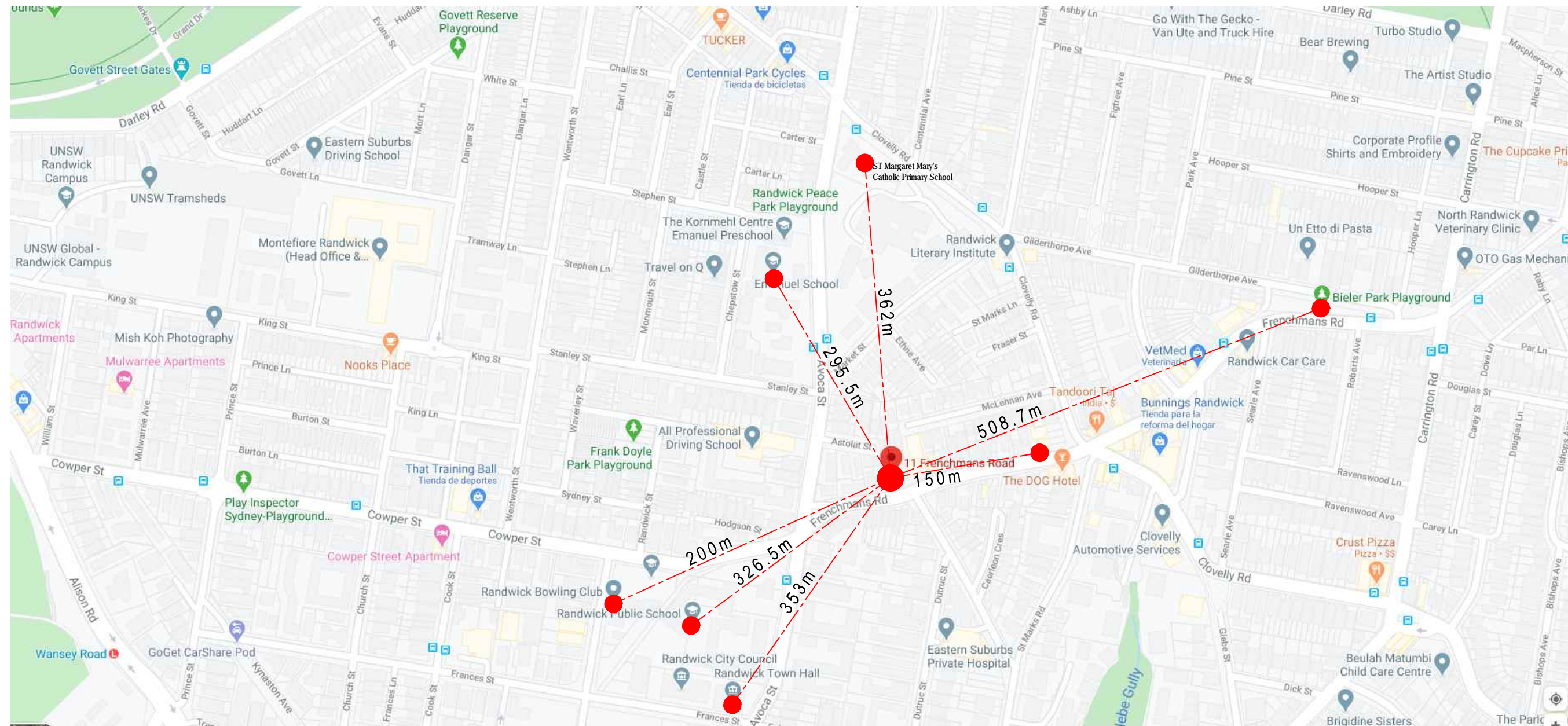
Date	JAN 2019	Job No. : Drawing
Scale	AS SHOWN	1912 / DA01
Drawn	SS	
Amendment	5	



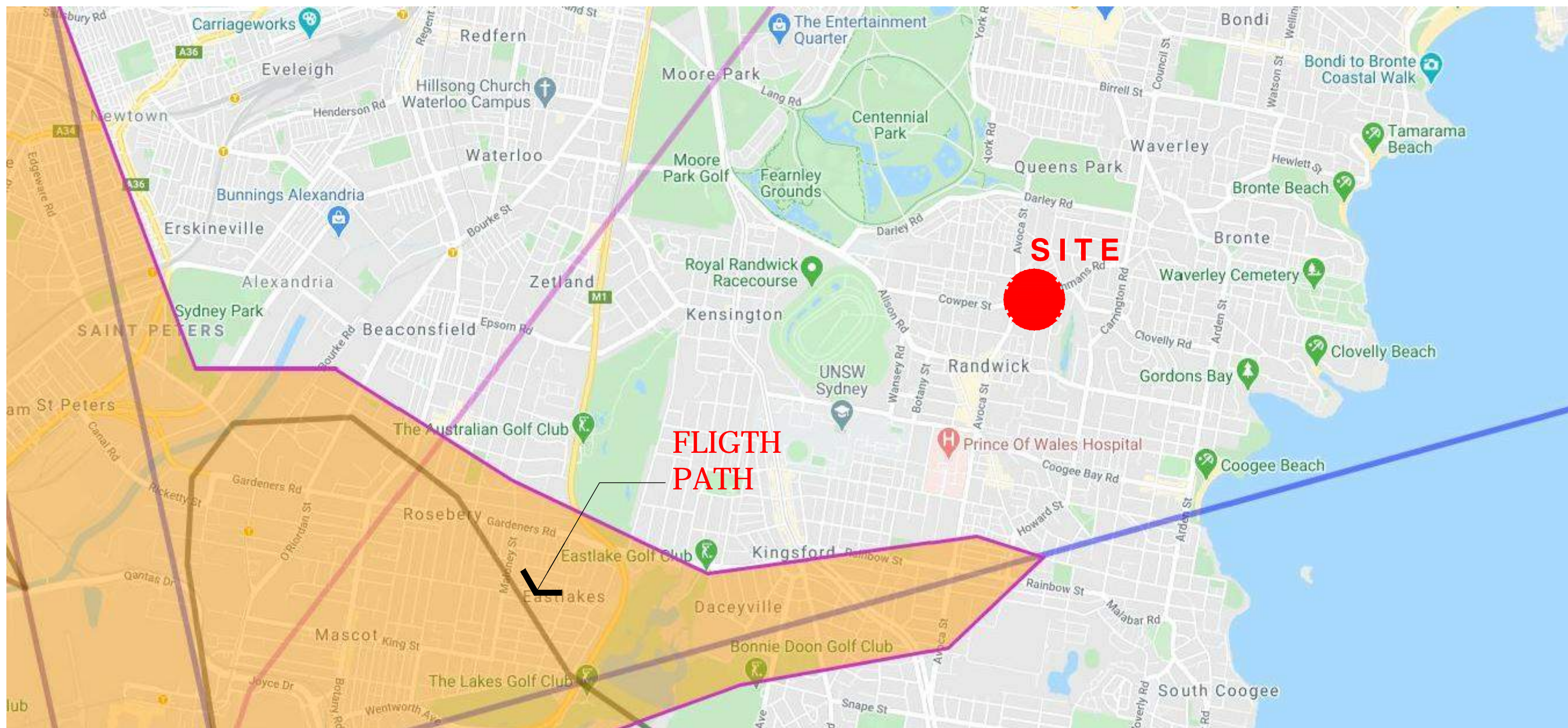




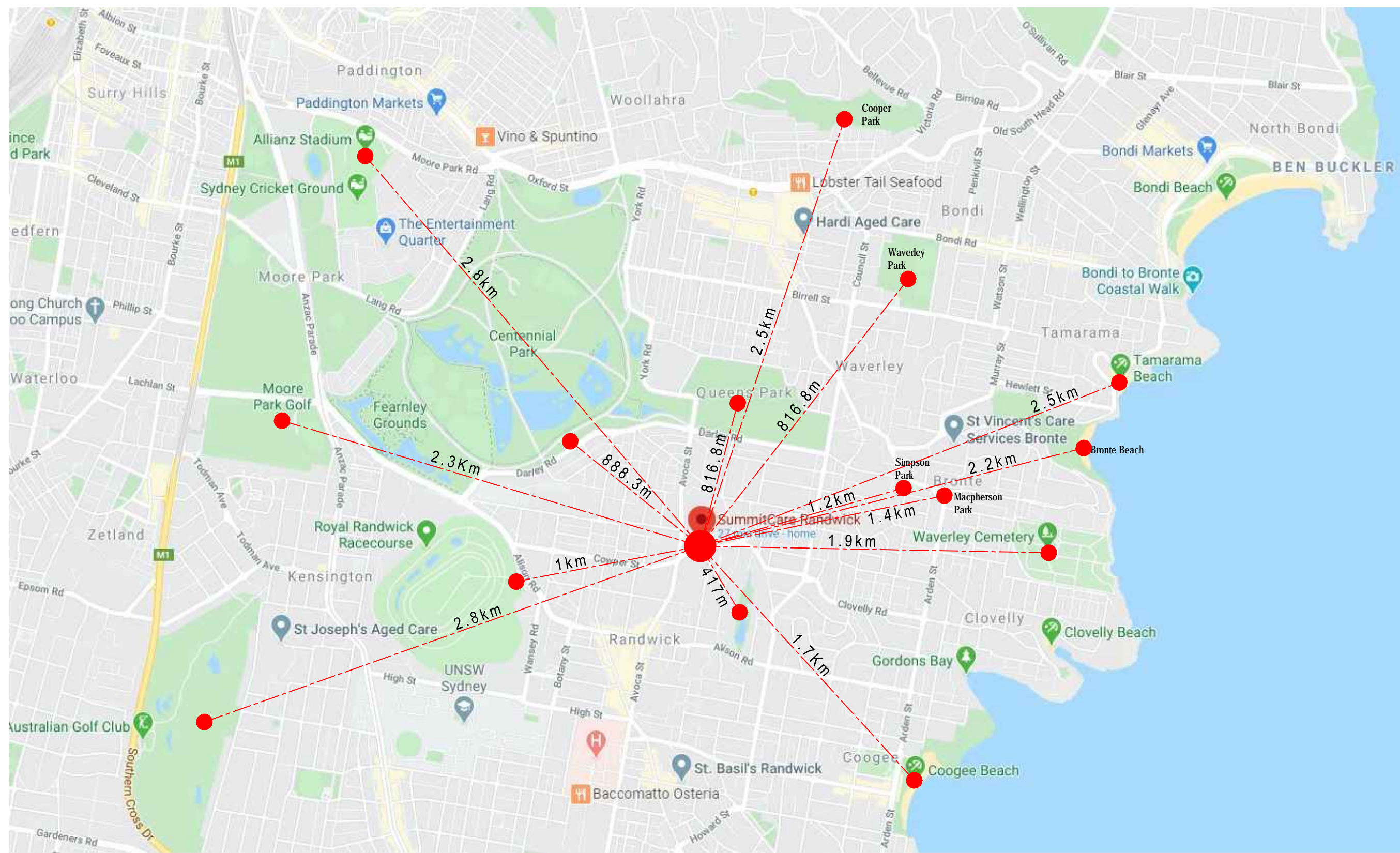




## DIRECTIONS & DISTANCES TO LOCAL FACILITY PLAN



## FLIGHT PATH PLAN



# PUBLIC OPEN SPACE PLAN



## LOCATION PLAN



3	Preliminary DA Issue	30.09.2020
2	Development Application Issue	07.09.2020
1	Development Application Issue for review	14.08.2020
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick


Drawing  
SITE ANALYSIS - LOCALITY PLAN



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	Date	JULY 2019	Job No. : Drawing  <b>1912 / DA02a</b>
	Scale	AS SHOWN	
	Drawn	SS	
	Amendment	3	



## LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value ft <sup>2</sup> · h · K · L	
<b>J1.3</b>	Roof and ceiling construction	≥ 3.70	
<b>J1.4</b>	Roof lights	N/A	
<b>J1.5a</b>	Total System external wall construction (all facades)	≥ 2.39	
<b>J1.5b</b>	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
<b>J1.6a</b>	Floor construction (above an unconditioned zone)	≥ 2.00	
<b>J1.6b</b>	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
<b>J1.5c</b> Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



11	Preliminary DA Issue	30.09.2020
10	Development Application Issue	07.09.2020
9	Development Application Issue for review	14.08.2020
8	Development Application Issue for review	11.08.2020
7	Preliminary Issue discussion	27.07.2020
6	Preliminary Issue for coordination	08.07.2020
5	Preliminary Issue for review & comment	06.07.2020
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	18.09.19
No.	Amendment	Date

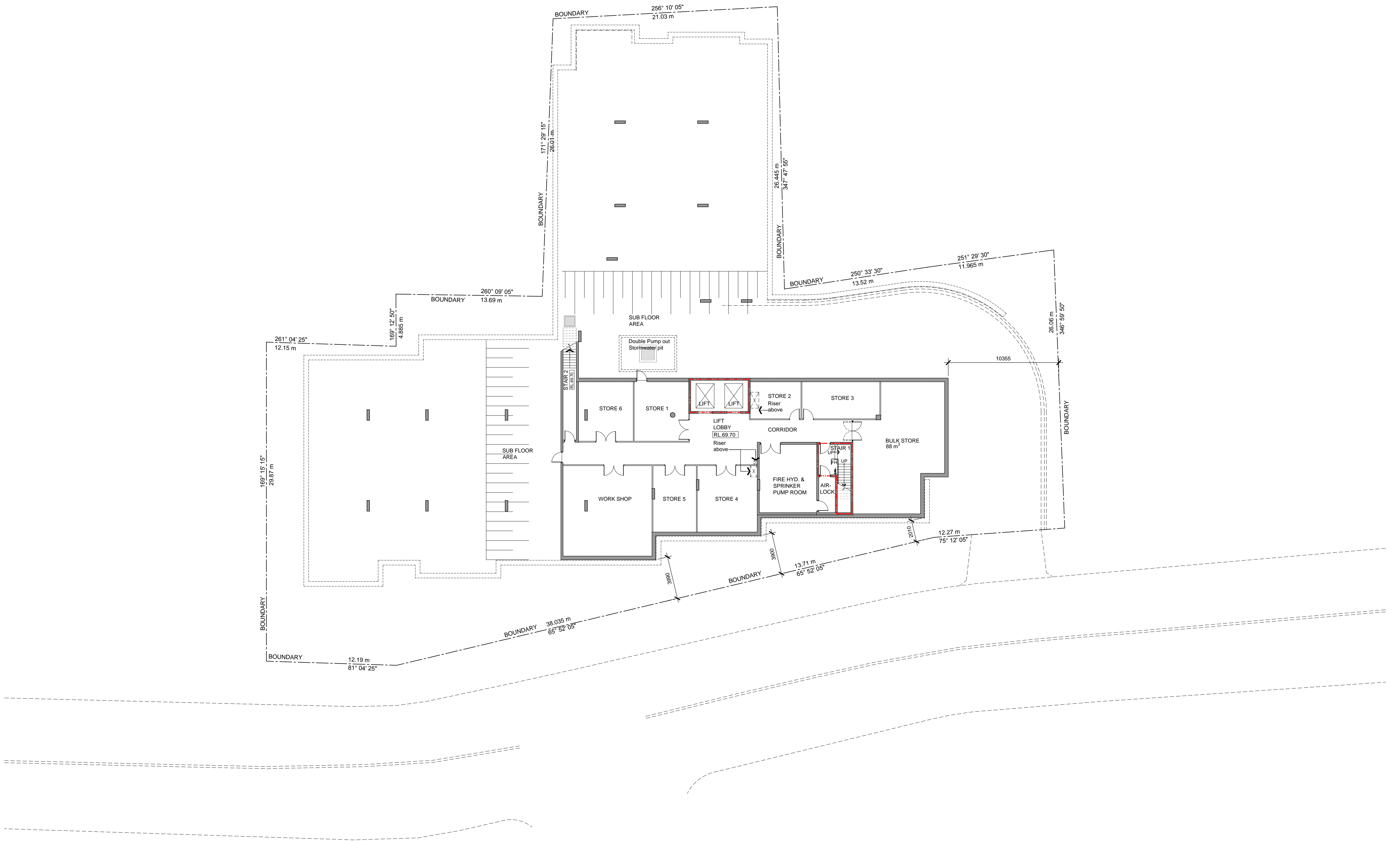
Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
LOWER BASEMENT FLOOR PLAN



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	Date	JAN 2019	Job No. : Drawing
	Scale	AS SHOWN	1912 / DA03
	Drawn	SS / WW	
	Amendment	11	





## LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value ft <sup>2</sup> · K/L		
<b>J1.3</b>	Roof and ceiling construction	≥ 3.70		
<b>J1.4</b>	Roof lights	N/A		
<b>J1.5a</b>	Total System external wall construction (all facades)	≥ 2.39		
<b>J1.5b</b>	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00		
<b>J1.6a</b>	Floor construction (above an unconditioned zone)	≥ 2.00		
<b>J1.6b</b>	Floor construction (concrete slab on ground)	No insulation required		
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC	
<b>J1.5c</b>	Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



13	Preliminary DA Issue	30.09.2020
12	Development Application Issue	07.09.2020
11	Development Application Issue for review	14.08.2020
10	Development Application Issue for review	13.08.2020
9	Development Application Issue for review	11.08.2020
8	Preliminary Issue discussion	27.07.2020
7	Preliminary Issue for coordination	08.07.2020
6	Preliminary Issue for review & comment	06.07.2020
5	building outline modified following changes on the upper level	27.04.20
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	18.09.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
BASEMENT FLOOR PLAN

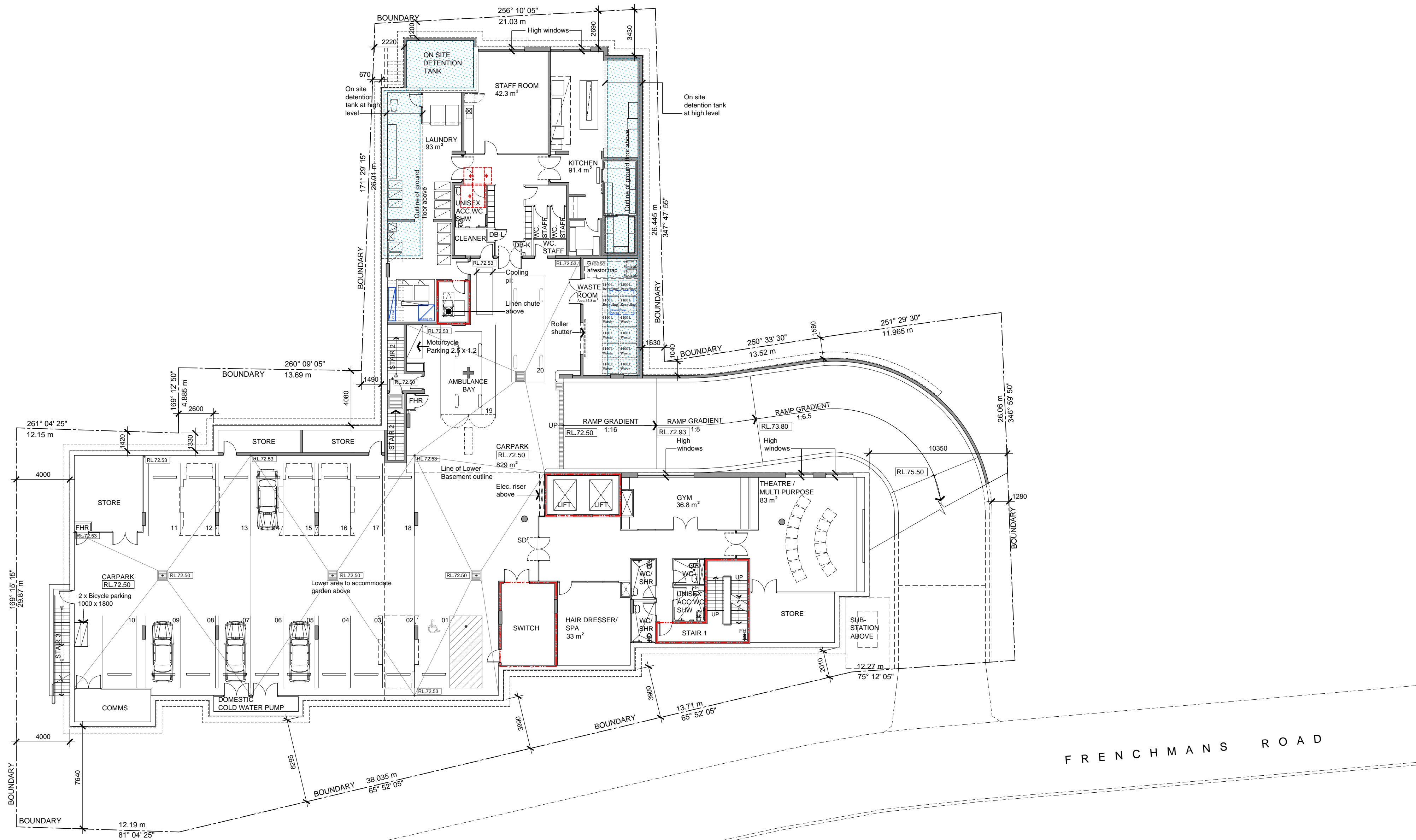


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	Date	JAN 2019	Job No. : Drawing
	Scale	AS SHOWN	2017 / DA04
	Drawn	SS / WW	
	Amendment	13	





## LEGEND

---	BOUNDARY
=====	MASONRY WALL
=====	STUD WALL
-----	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
-----	NEW FENCE
+ ex.RL.00.00	EXISTING LEVELS
RL.00.00	PROPOSED LEVELS
U	PROPOSED DOOR
W	PROPOSED WINDOW
MB	MOBILE BATH
CF	CEILING FAN
ET	ELEVATION TAG
ST	SECTION / ELEVATION TAG

## ACOUSTIC REQUIREMENTS

Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value ft <sup>2</sup> · K/L	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c	Total Window Frame construction	All facades	≤ 4.00      ≤ 0.29



14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
12	Development Application Issue for review	14.08.2020
11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROUND FLOOR PLAN



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Date	JAN 2019	Job No. : Drawing
Scale	AS SHOWN	2017 / DA05
Drawn	SS	
Amendment	14	





## LEGEND

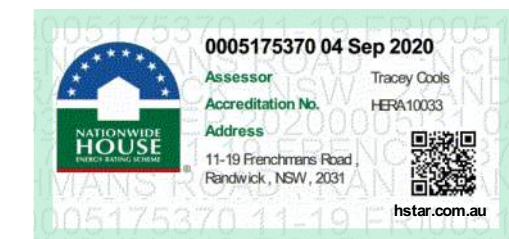
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

## ACOUSTIC REQUIREMENTS

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## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value ft <sup>2</sup> · K.L.	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c	Total Window Frame construction	≤ 4.00	≤ 0.29



14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
12	Development Application Issue for review	14.08.2020
11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
FIRST FLOOR PLAN



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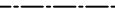


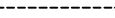

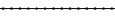

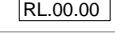

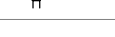



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	Date	JAN 2019	Job No. : Drawing
	Scale	AS SHOWN	2017 / DA06
	Drawn	SS	
	Amendment	14	


0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



### LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
+ ex. RL 00.00	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value ≥ 2 K/L	
<b>J1.3</b>	Roof and ceiling construction	≥ 3.70	
<b>J1.4</b>	Roof lights	N/A	
<b>J1.5a</b>	Total System external wall construction (all facades)	≥ 2.39	
<b>J1.5b</b>	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
<b>J1.6a</b>	Floor construction (above an unconditioned zone)	≥ 2.00	
<b>J1.6b</b>	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
<b>J1.5c</b> Total Window Faced	All facades	≤ 4.00	≤ 0.29



14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
12	Development Application Issue for review	14.08.2020
11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree. Nest was pulled back from boundary. Dwelling units to eastern wing converted to 8 bedrooms (10 beds)	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
3	Preliminary Issue	18.09.19
No.	Amendment	Date


Project  
**SUMMIT CARE**  
11-19 Frenchmans Road, Randwick

Drawing  
SECOND FLOOR PLAN



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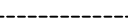

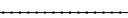


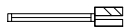




	Date	JAN 2019	Job No. : Drawing  2017 / DA07
	Scale	1:200@A1	
	Drawn	SS	
	Amendment	14	






BASIX and Thermal Comfort Inclusions	
Floors	Concrete between levels, no insulation required
Walls	External walls: Brick Veneer with R2.0 insulation (insulation only value) External colour: Medium (0.475-SA-C0.7) Inter-tenancy walls: Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required. Internal walls (within units): Plasterboard on studs
Windows	Aluminium framed double glazing: U-value: 3.40 (equal to or lower than) SHGC: 0.33 (±10%) Given values are AFRC total window system values (glass and frame) Note: Operability modelled as per BASIX Thermal Protocol – 4.14.2 and NATHERS Technical Note 1.2 – 10.11 with regards to restricted openings
Ceilings	Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above. Plasterboard ceiling, no insulation where neighbouring units are above. Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2
Roof	Metal roof with foil backed blanket (R1.3 and Rdt.3) External colour: Dark (SA > 0.7)
Floor coverings	Tiles to throughout
Hot water system	Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers
Fixtures	Showerheads: 4.0 star low flow (~4.5L but <=5.0L/min) Toilets: 4.0 star Kitchen taps: 5.0 star Bathroom vanity taps: 5.0 star
Cooling systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min 3 star
Heating systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min 3 star
Appliances	Dish washer: 3.0 star water & 4.0 star energy rating Clothes washer: 3.0 star water & 4.0 star energy rating Clothes dryer: 6.0 star energy rating Refrigerator: 3.5 star energy rating
Ventilation in units	Kitchen - Individual fan, externally ducted to facade, manual on/off switch Bathrooms - Individual fan, externally ducted to facade, manual on/off switch Laundry - Individual fan, externally ducted to facade, manual on/off switch
Other	Electric cooktop & electric oven Well-ventilated fridge space Air conditioning day-night zoned between bedrooms and living areas

## LEGEND

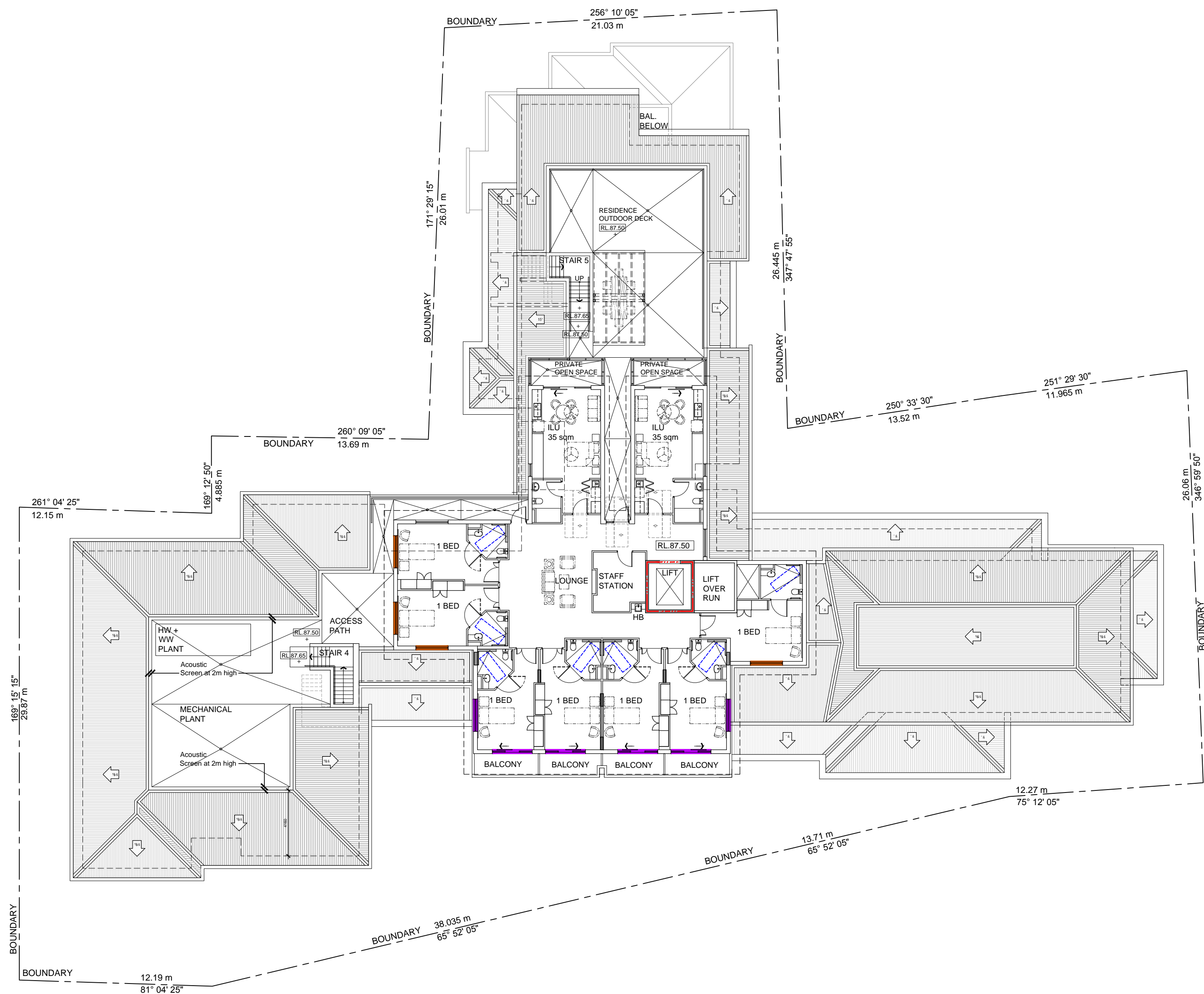
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
+ ex.RL.00.00	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value ft <sup>2</sup> · ft/lb · °F	
<b>J1.3</b> Roof and ceiling construction		≥ 3.70	
<b>J1.4</b> Roof lights		N/A	
<b>J1.5a</b> Total System external wall construction (all facades)		≥ 2.39	
<b>J1.5b</b> Total System internal wall construction (between conditioned & unconditioned areas)		≥ 1.00	
<b>J1.6a</b> Floor construction (above an unconditioned zone)		≥ 2.00	
<b>J1.6b</b> Floor construction (concrete slab on ground)		No insulation required	
Glazing - Frame Construction (Uniform solution)		Total System SHGC	Total System SHGC
<b>J1.5c</b> Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
12	Development Application Issue for review	14.08.2020
11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Meeting with PM	22.06.2020
6	2 x Dwelling Suite added and Plant areas modified.	21.05.2020
5	2 x Dwelling Suite added and Plant areas modified.	27.04.20
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.11.19
2	Preliminary Issue	06.12.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date


Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
THIRD FLOOR PLAN



**boffa robertson group**  
architecture, health and aged care planning, project management

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	Date	JAN 2019	Job No. : Drawing  <b>2017 / DA08</b>
	Scale	AS SHOWN	
	Drawn	SS / WW	
	Amendment	14	





LEGEND

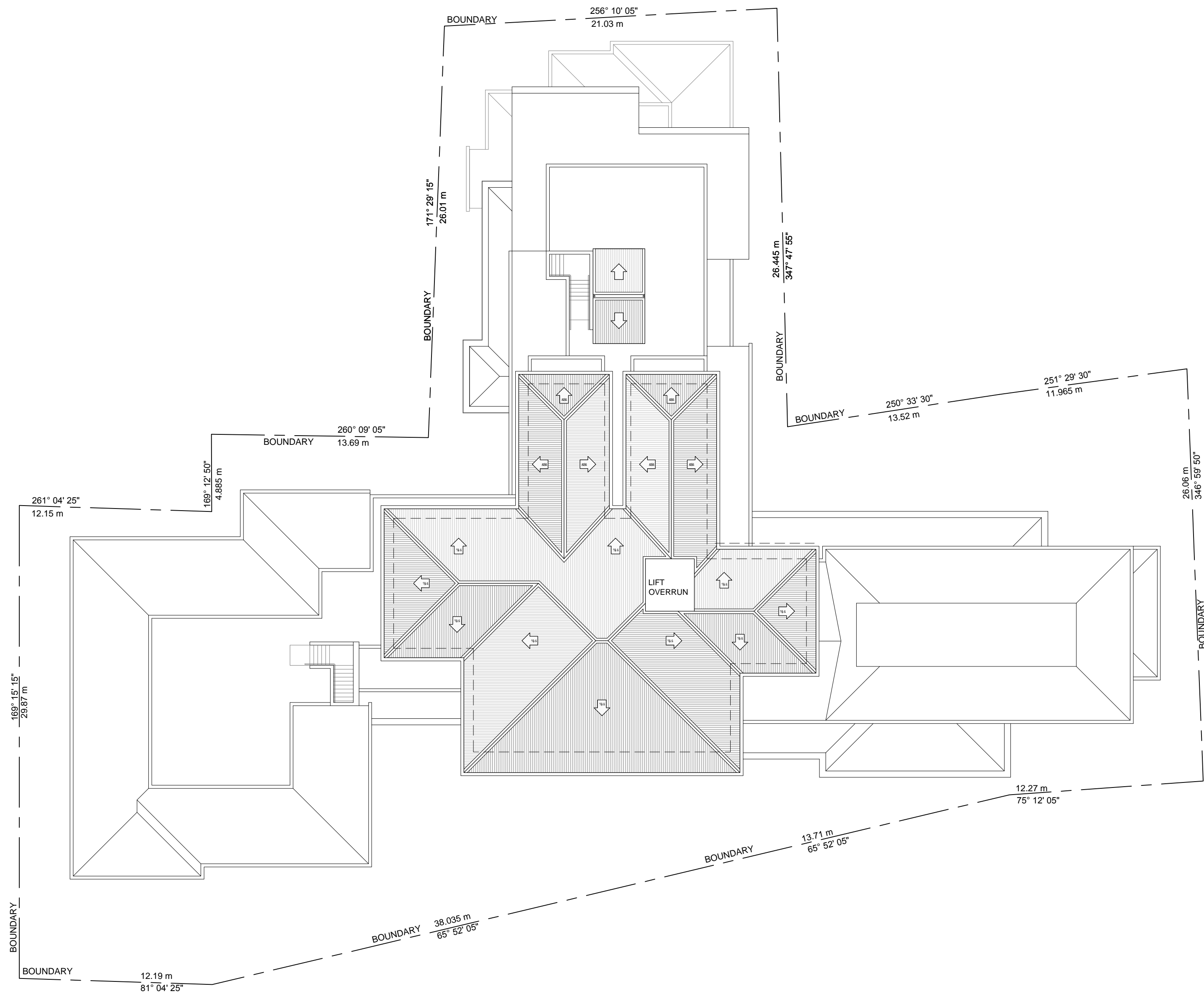
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value ft <sup>2</sup> · h · K · L		
<b>J1.3</b> Roof and ceiling construction	≥ 3.70		
<b>J1.4</b> Roof lights	N/A		
<b>J1.5a</b> Total System external wall construction (all facades)	≥ 2.39		
<b>J1.5b</b> Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00		
<b>J1.6a</b> Floor construction (above an unconditioned zone)	≥ 2.00		
<b>J1.6b</b> Floor construction (concrete slab on ground)	No insulation required		
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
<b>J1.5c</b> Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
12	Development Application Issue for review	14.08.2020
11	Development Application Issue for review	11.08.2020
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4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
ROOF PLAN



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Fax: (02) 9406 7099  
Email: brgroup@brg.net

0m 2 5 10 15m  
SCALE: 1: 200 @ A1  
SCALE: 1: 400 @ A3

	Date	JAN 2019	Job No. : Drawing
	Scale	AS SHOWN	2017 / DA09
	Drawn	SS / WW	
	Amendment	14	

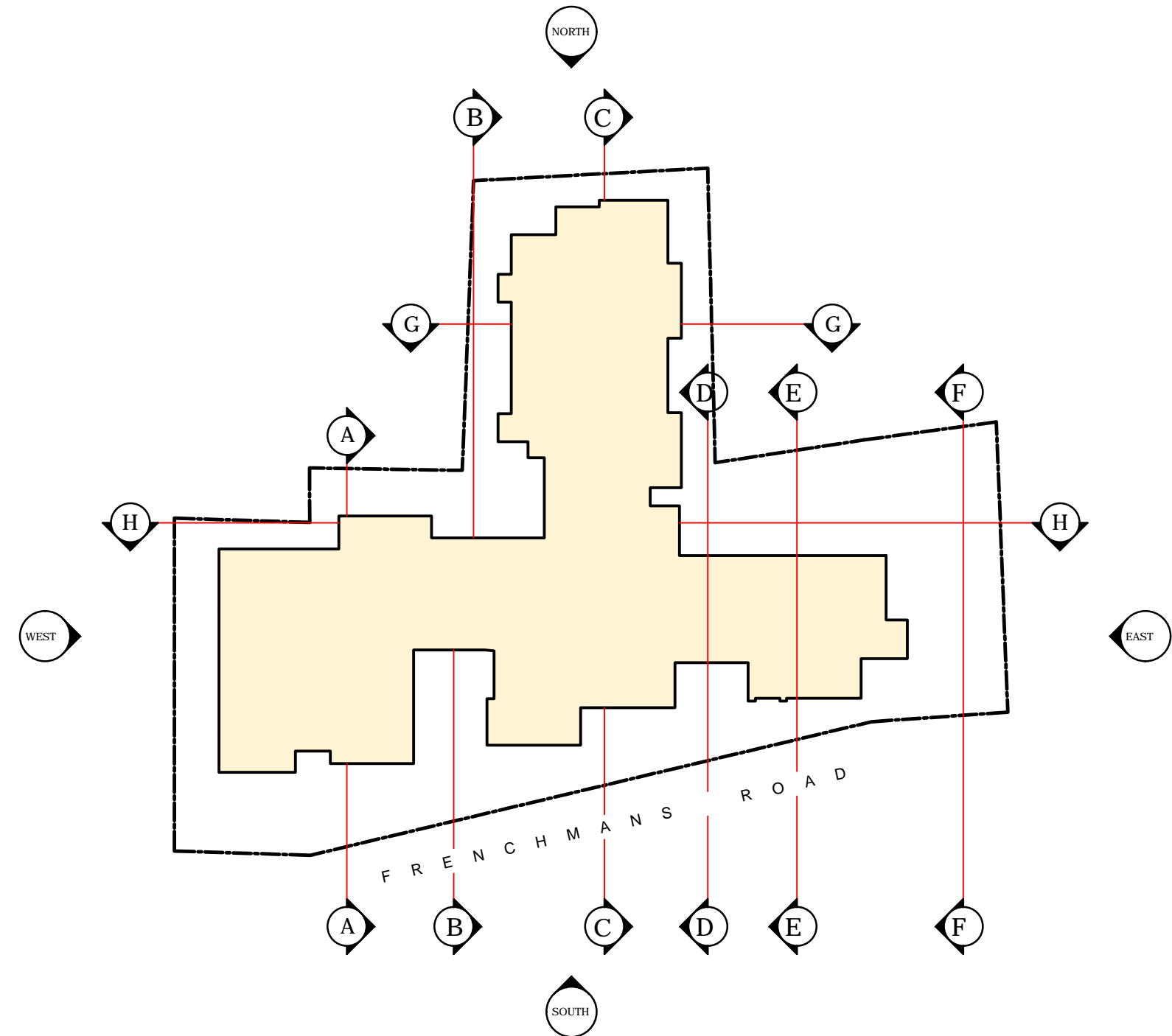


#### LEGEND

AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

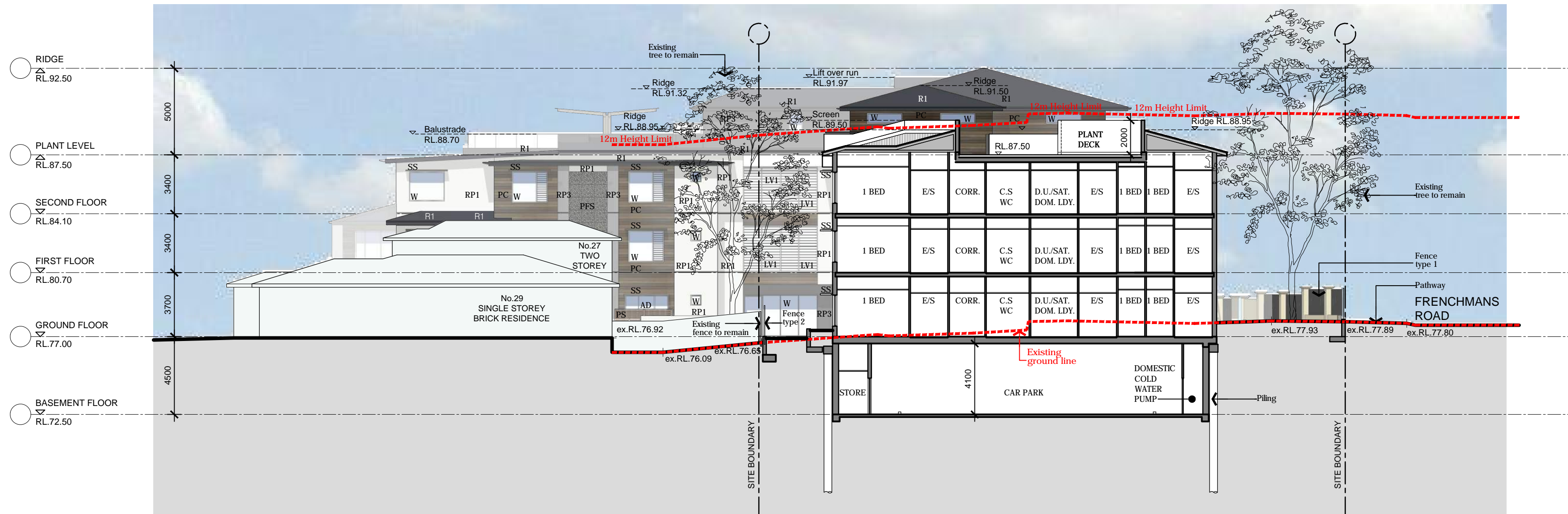
#### FENCE TYPES

F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

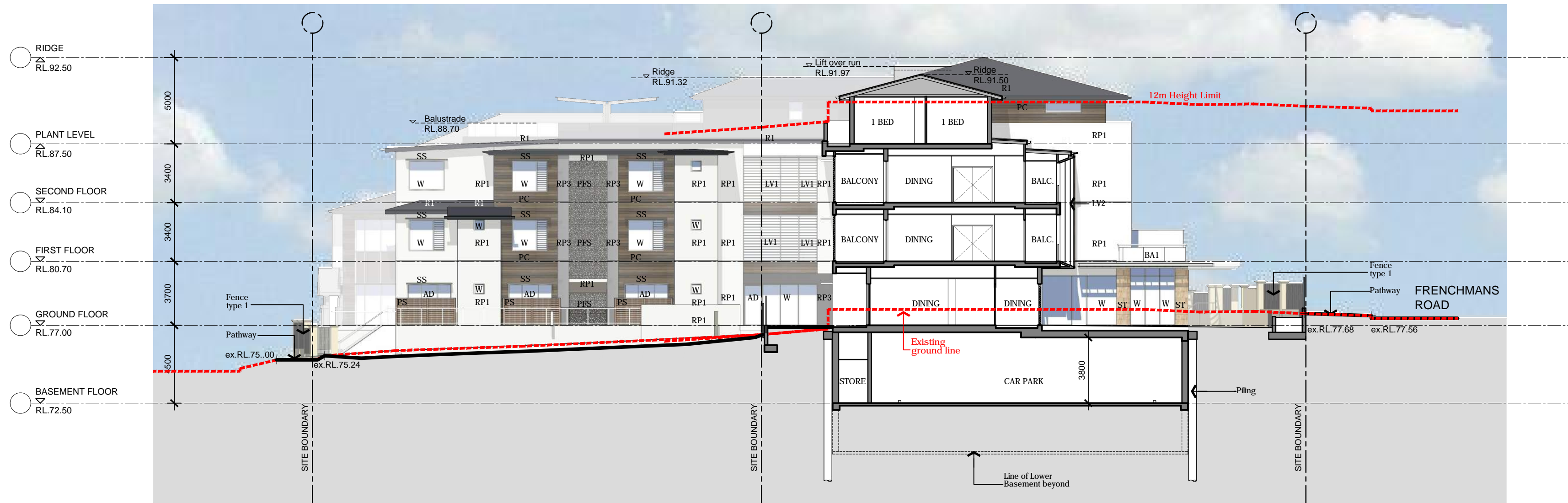


#### KEY PLAN

01 Section A  
Scale 1:200



02 Section B  
Scale 1:200



03 Section C  
Scale 1:200



7	Preliminary DA Issue	30.09.2020
6	Development Application Issue	07.09.2020
5	Development Application Issue for review	14.08.2020
4	Development Application Issue for review	11.08.2020
3	Development Application Issue	19.12.19
2	Preliminary Issue	19.11.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SECTIONS (A, B & C)

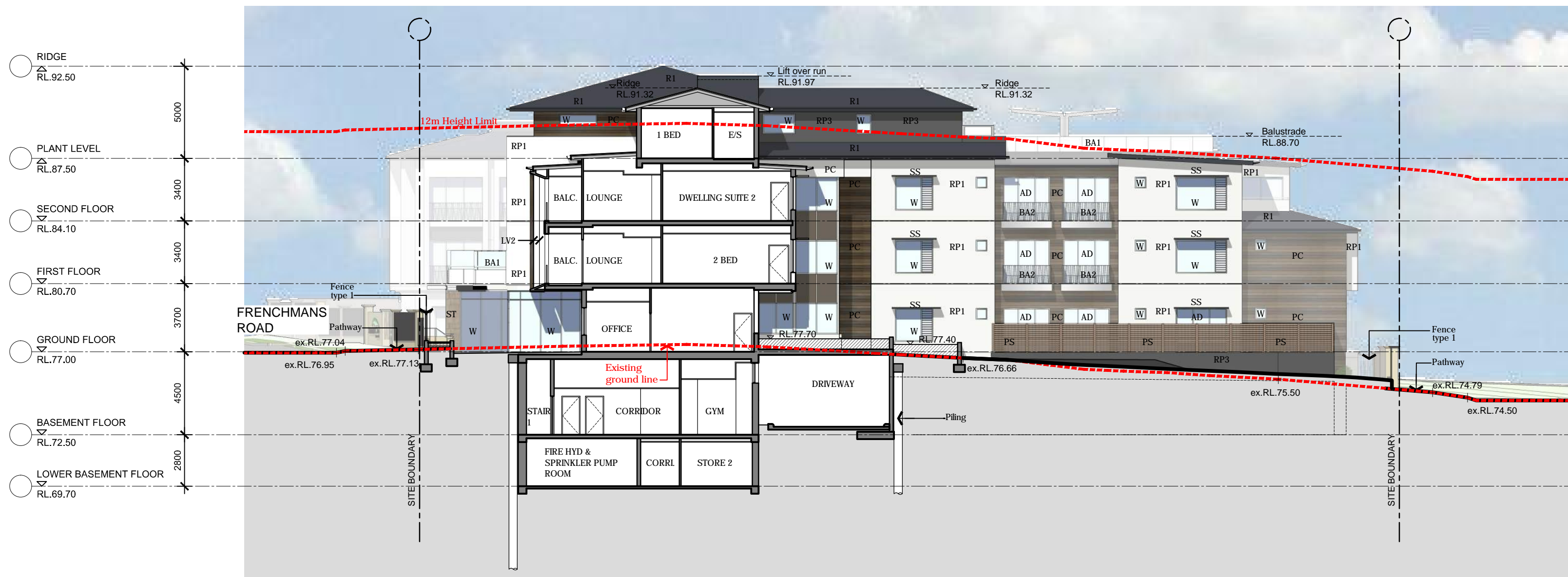


boffa robertson group  
architecture, health and aged care planning, project management  
Suite 7, Level 1 Epica, 9 Railway Street  
Cherrywood NSW 2067  
AUSTRALIA  
Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

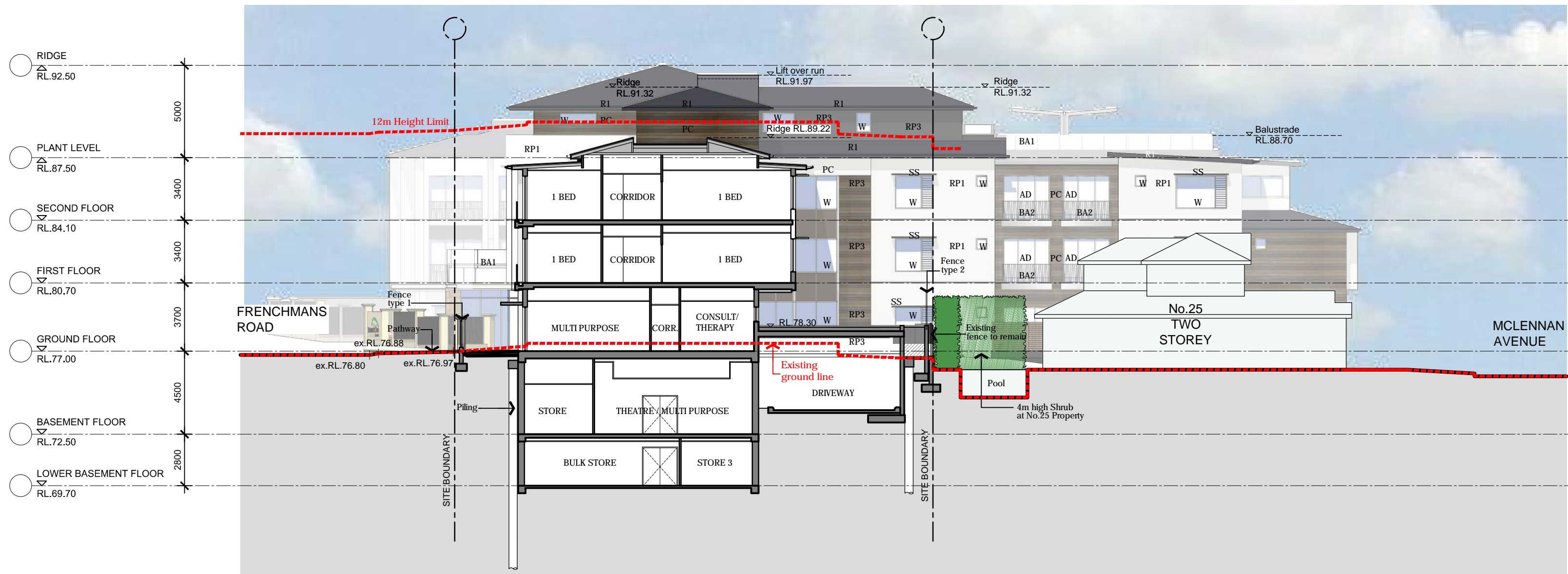
Date	JAN 2019	Job No. : Drawing
Scale	AS SHOWN	
Drawn	WW	1912 / DA10
Amendment	7	

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SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

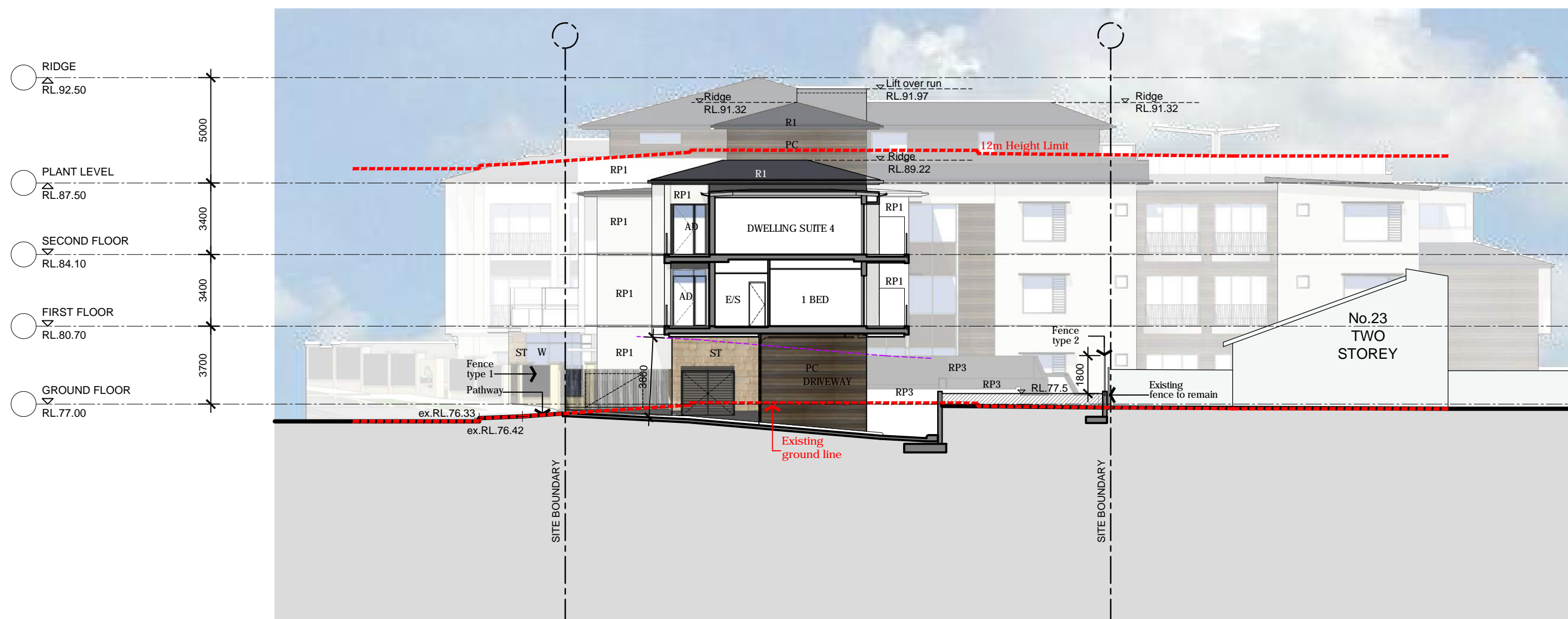




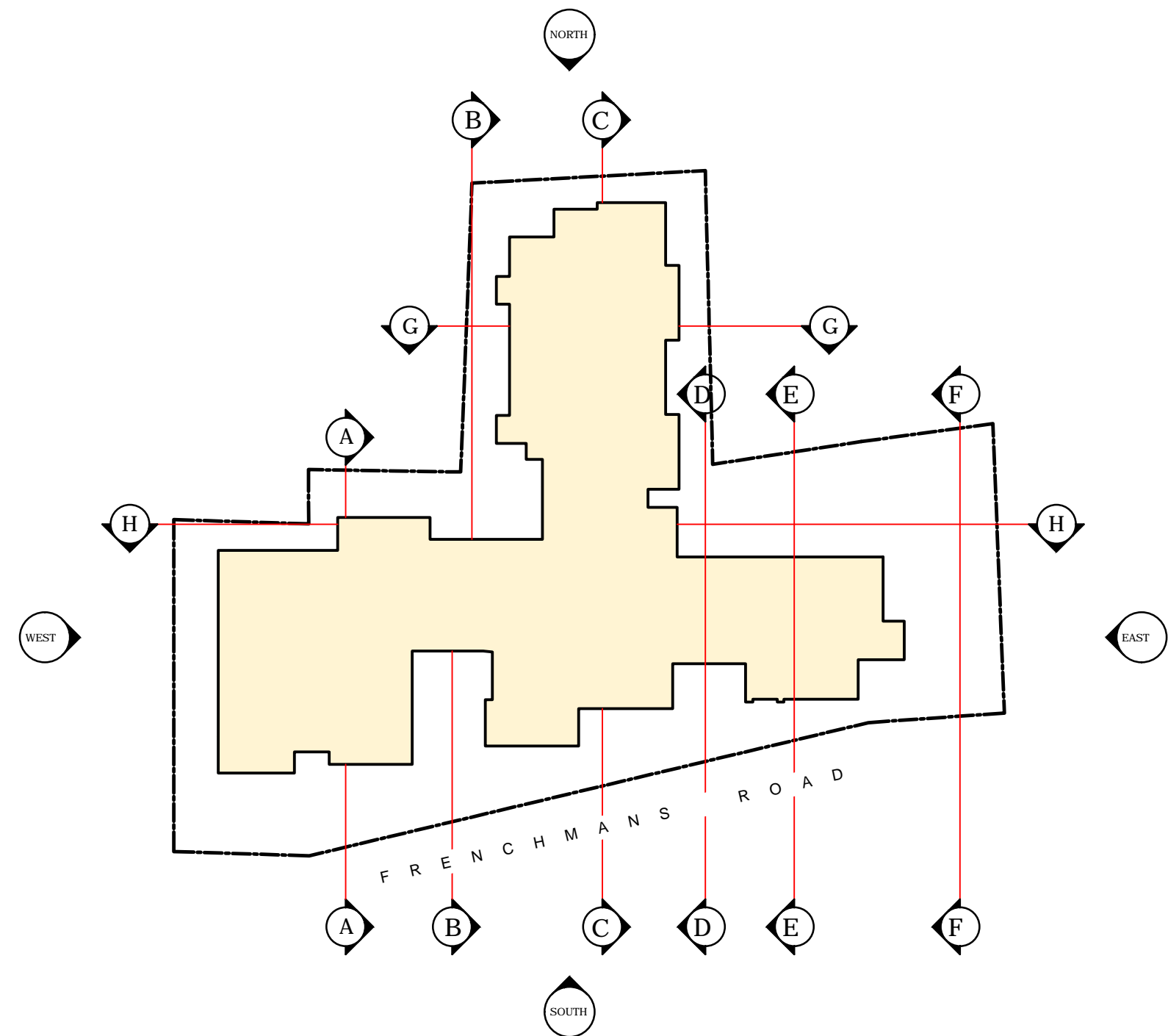
04 Section D  
Scale 1:200



05 Section E  
Scale 1:200

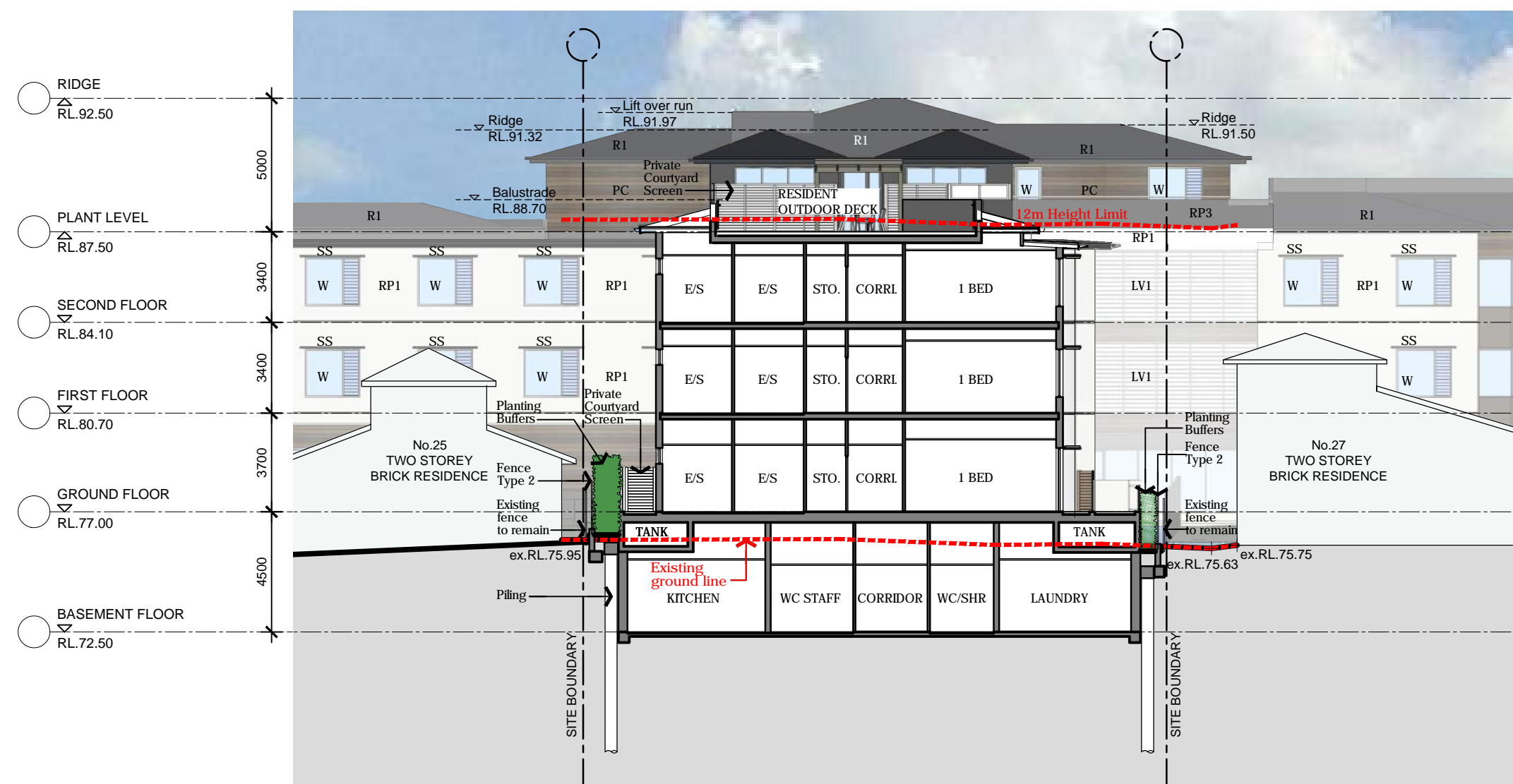


06 Section F  
Scale 1:200



KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS
FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE



07 Section G  
Scale 1:200

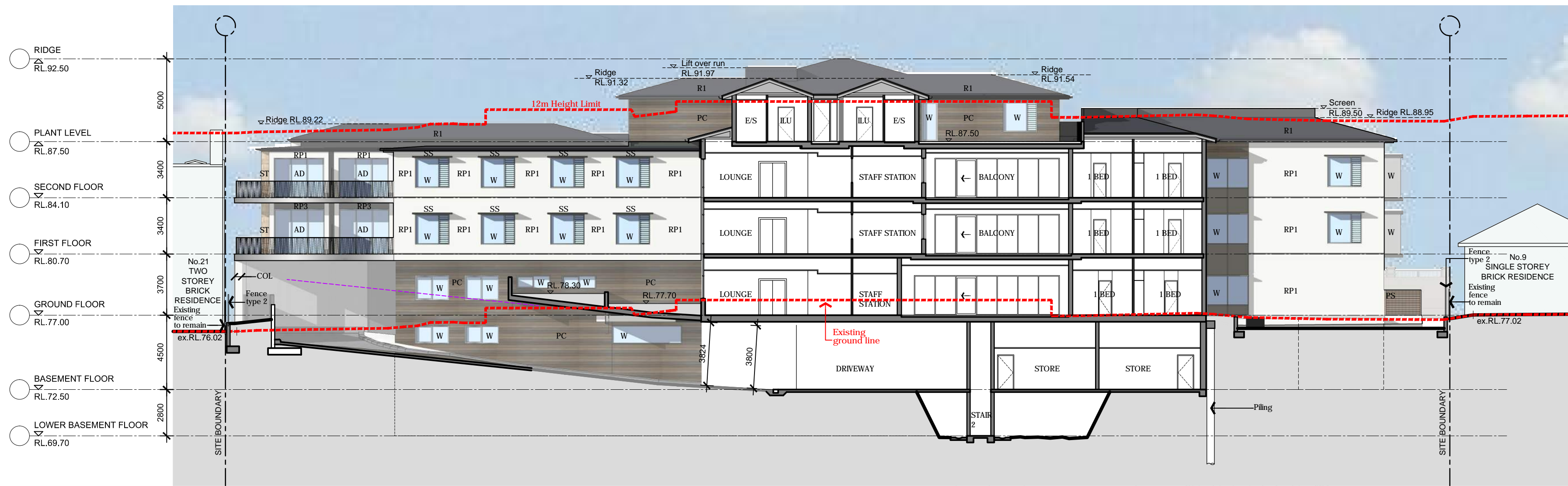
7	Preliminary DA Issue	30.09.2020
6	Development Application Issue	07.09.2020
5	Development Application Issue for review	14.08.2020
4	Development Application Issue for review	11.08.2020
3	Development Application Issue	19.12.19
2	Preliminary Issue	19.11.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS (D, E, F & G)



Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	WW		1912 / DA11
Amendment	7		

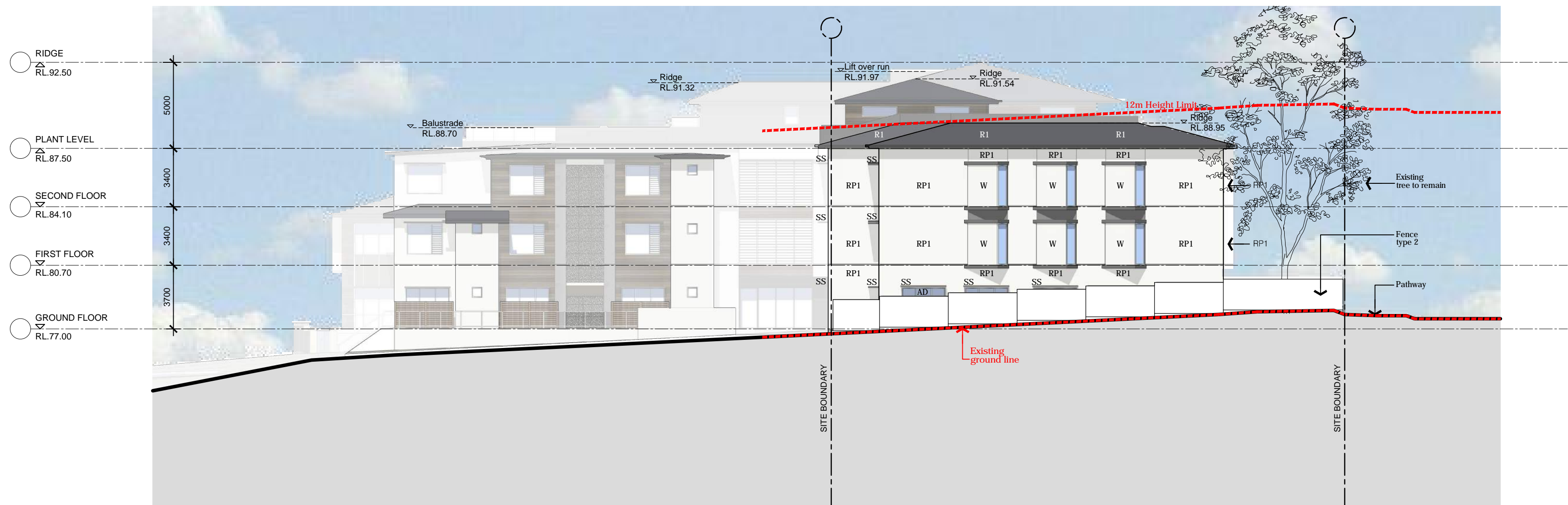




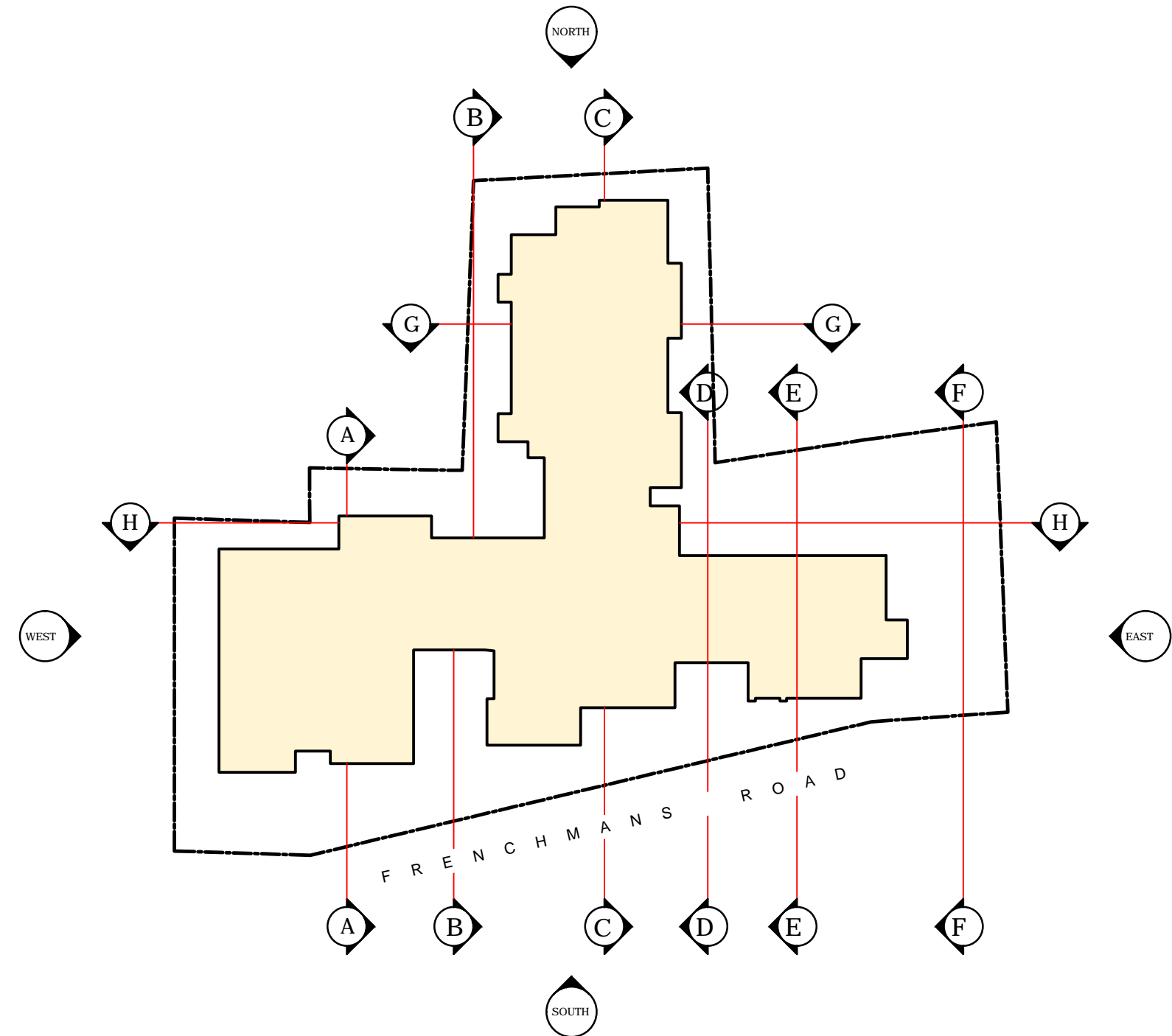
08 Section H  
Scale 1:200



09 South Boundary Elevation  
Scale 1:200



10 West Boundary Elevation  
Scale 1:200



KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
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R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
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RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS
FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE



6	Preliminary DA Issue	30.09.2020
5	Development Application Issue	07.09.2020
4	Development Application Issue for review	14.08.2020
3	Development Application Issue for review	11.08.2020
2	Development Application Issue	19.12.19
1	Preliminary Issue	19.11.19
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
**SECTION H & ELEVATIONS**  
(South & West Boundary)

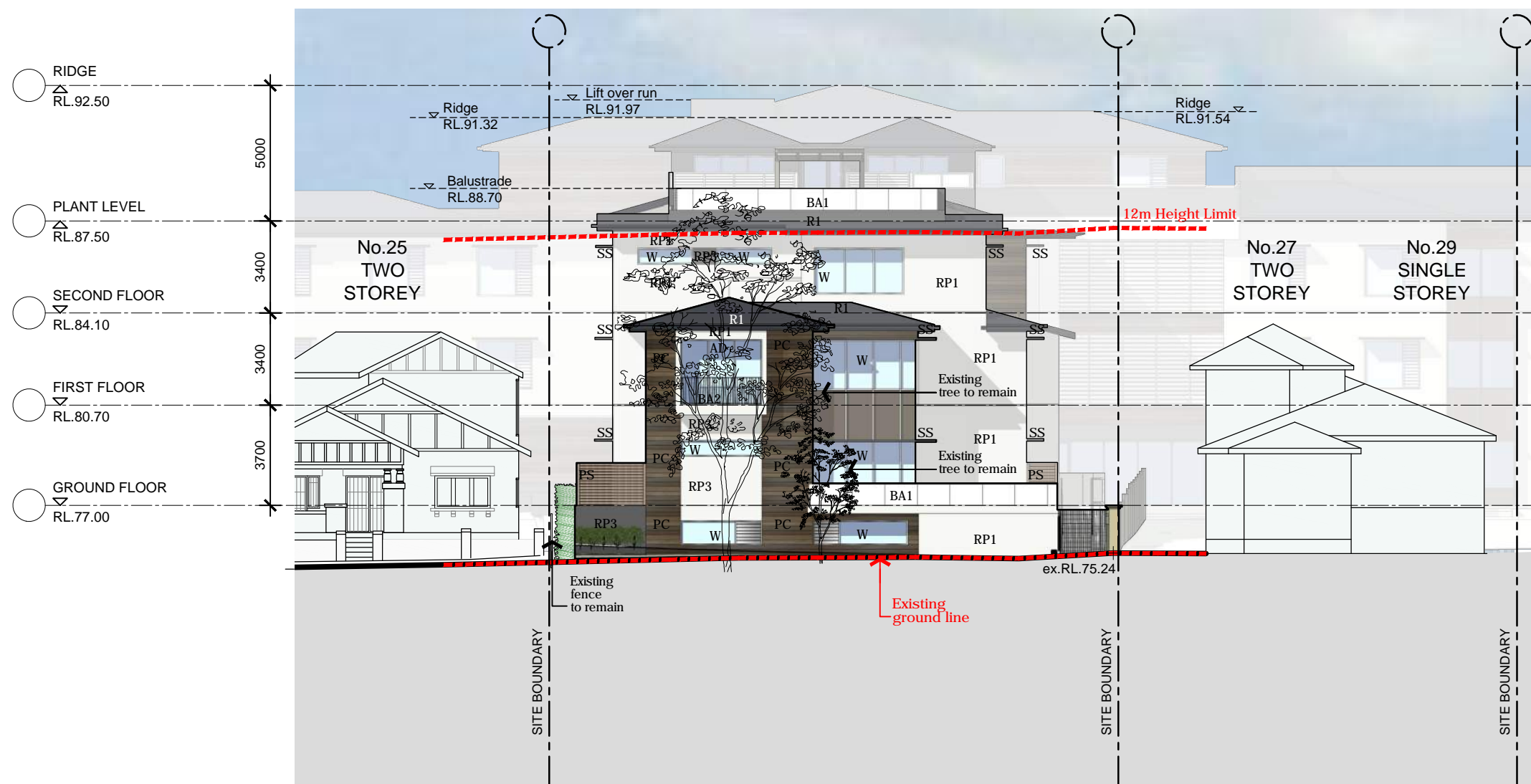


Date	NOV 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	6		

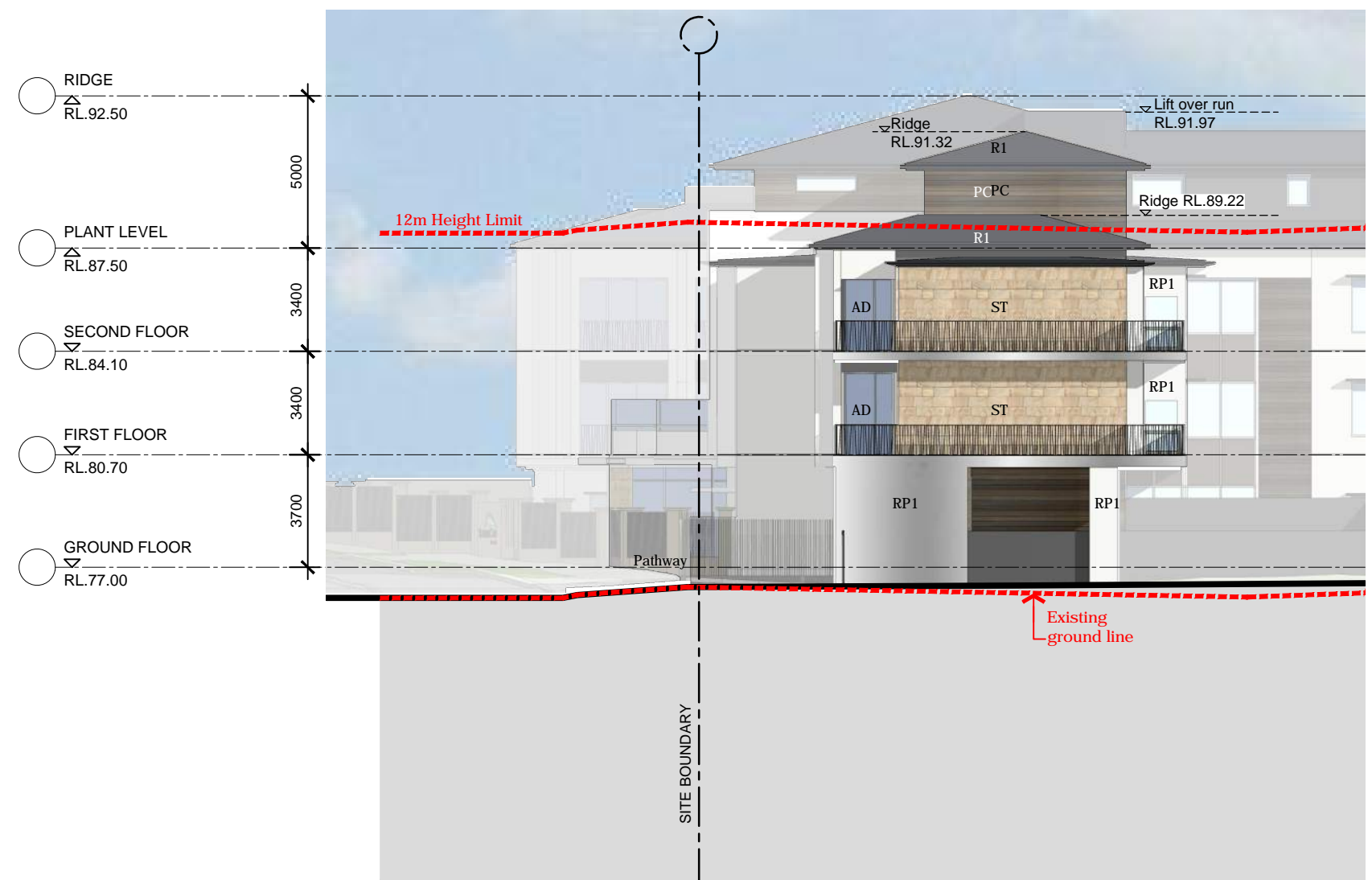


1912 / DA12

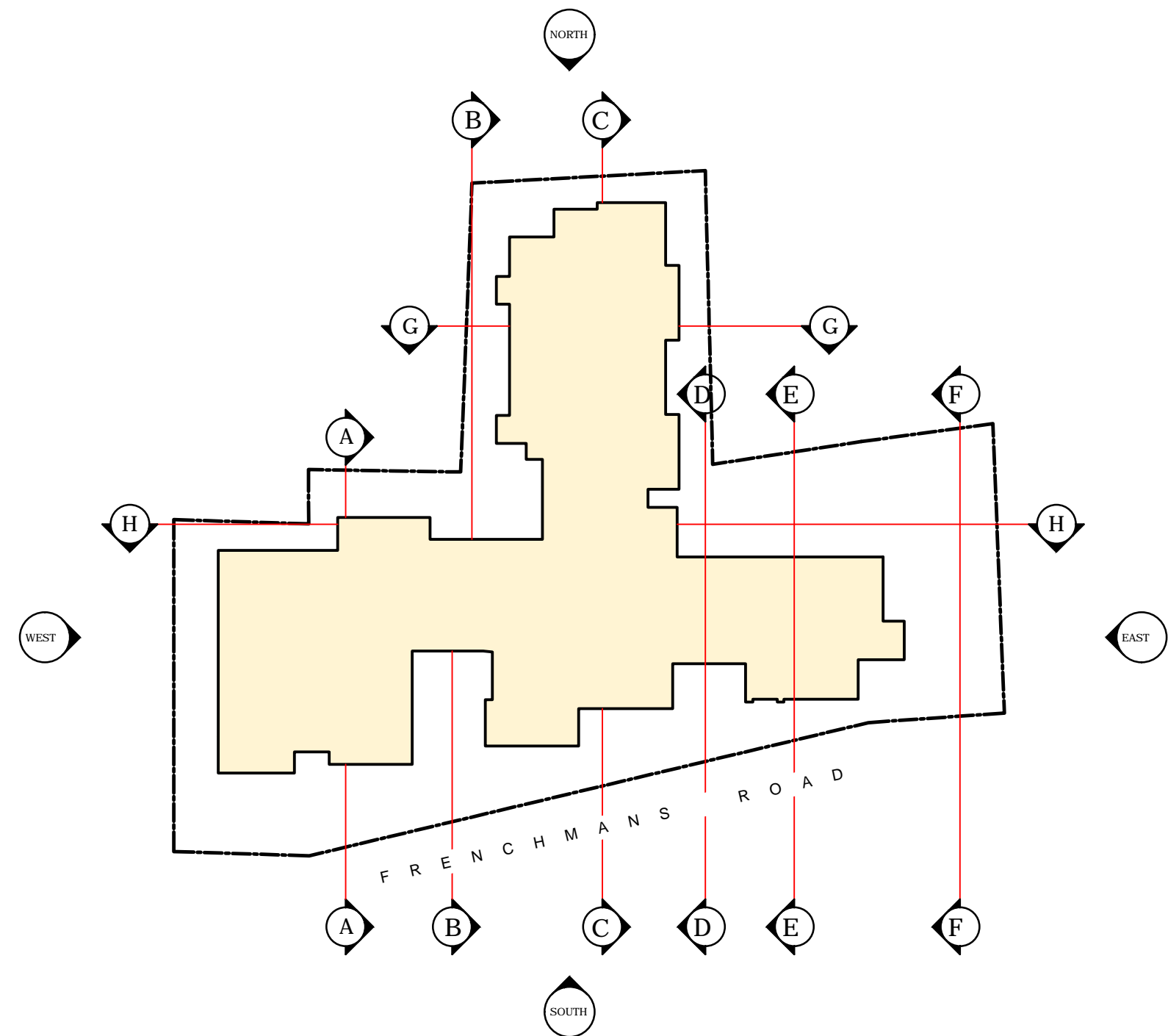




11 NORTH ELEVATION  
Scale 1:200



12 EAST ELEVATION  
Scale 1:200



KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS
FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE



13 SOUTH ELEVATION  
Scale 1:200



14 WESTELEVATION  
Scale 1:200

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



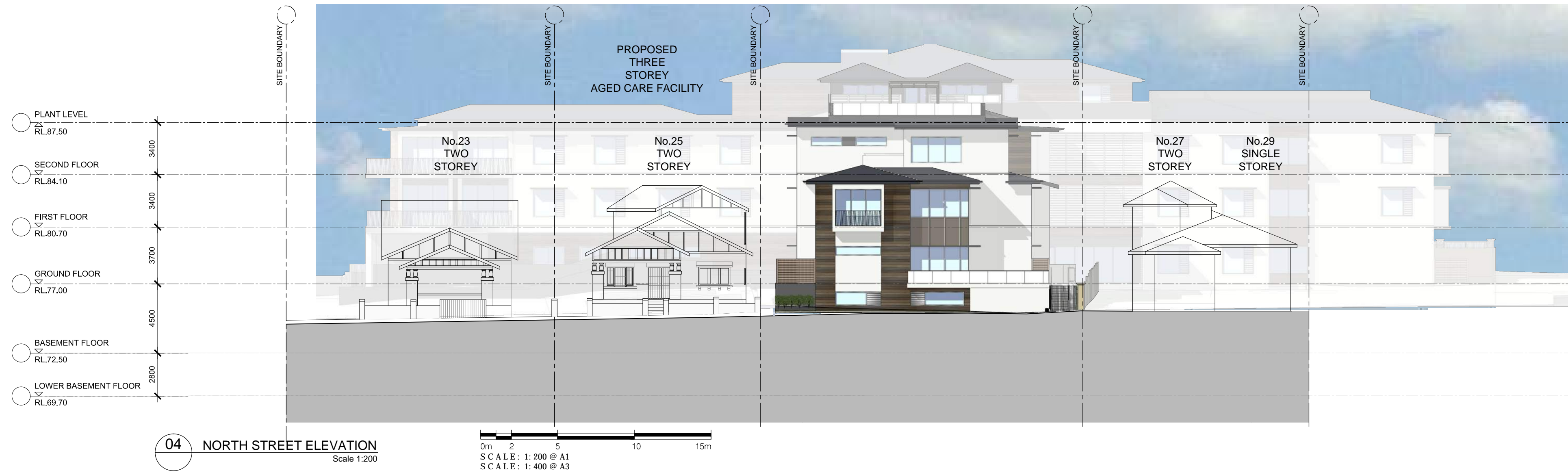
8	Preliminary DA Issue	30.09.2020
7	Development Application Issue	07.09.2020
6	Development Application Issue for review	14.08.2020
5	Development Application Issue for review	10.08.2020
4	Development Application Issue	19.12.19
3	Preliminary Issue	19.11.19
2	Preliminary Issue	18.09.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
ELEVATIONS (North, East, South & West)

**SUMMITCARE**  
WARRATH WORTH WELLBEING  
**boffa robertson group**  
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Email: brgroup@brg.net

Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	8		
			1912 / DA13





5	Preliminary DA Issue	30.09.2020
4	Development Application Issue	07.09.2020
3	Development Application Issue for review	14.08.2020
2	Development Application Issue for review	12.08.2020
1	Development Application Issue	19.12.19
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
**STREET ELEVATIONS PROPOSED**



**boffa robertson group**  
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Date	JAN 2019	Job No. : Drawing
Scale	AS SHOWN	
Drawn	AL	1912 / DA14
Amendment	5	





01 Frenchmans Road Street Elevation  
Proposed



02 Frenchmans Road Street Elevation  
Existing



03 Opposite side of Frenchmans Road Street Elevation  
Existing



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
A	Preliminary Issue	00.06.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATION @  
FRENCHMANS ROAD-PHOTOMONTAGE



Date	JULY 2019	Job No. : Drawing
Scale	NTS @ A1	2017 / DA15
Drawn	VI	
Amendment	4	





01 McLennan Avenue Street Elevation  
Proposed



02 McLennan Avenue Street Elevation  
Existing



03 View from Chapel Street  
Proposed



04 View from Chapel Street  
Existing



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
A	Preliminary Issue	00.06.19
No.	Amendment	Date

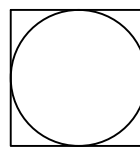
Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
STREET ELEVATION @  
MCLENNAN AVENUE -PHOTOMONTAGE

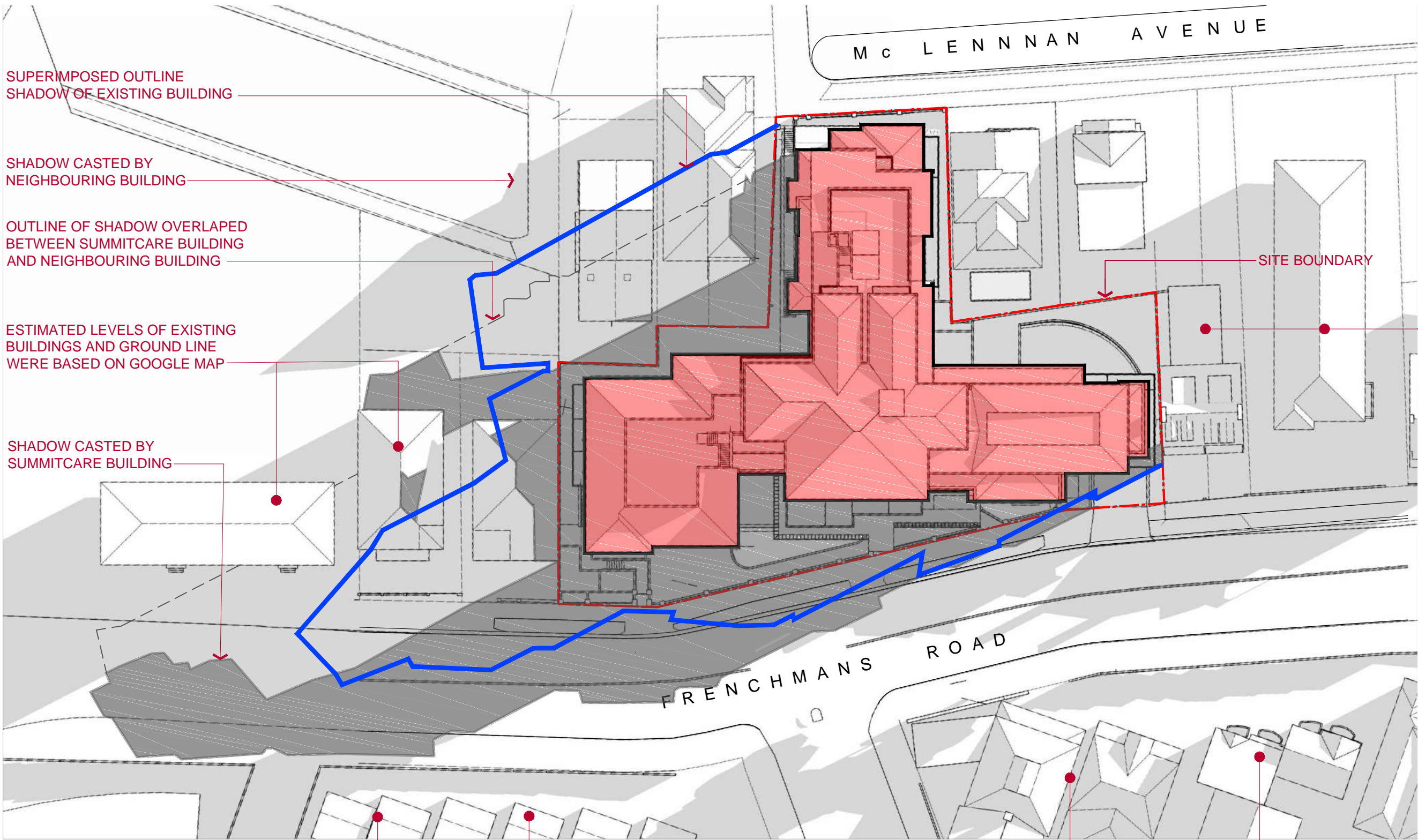


**boffa robertson group**  
architecture, health and aged care planning, project management

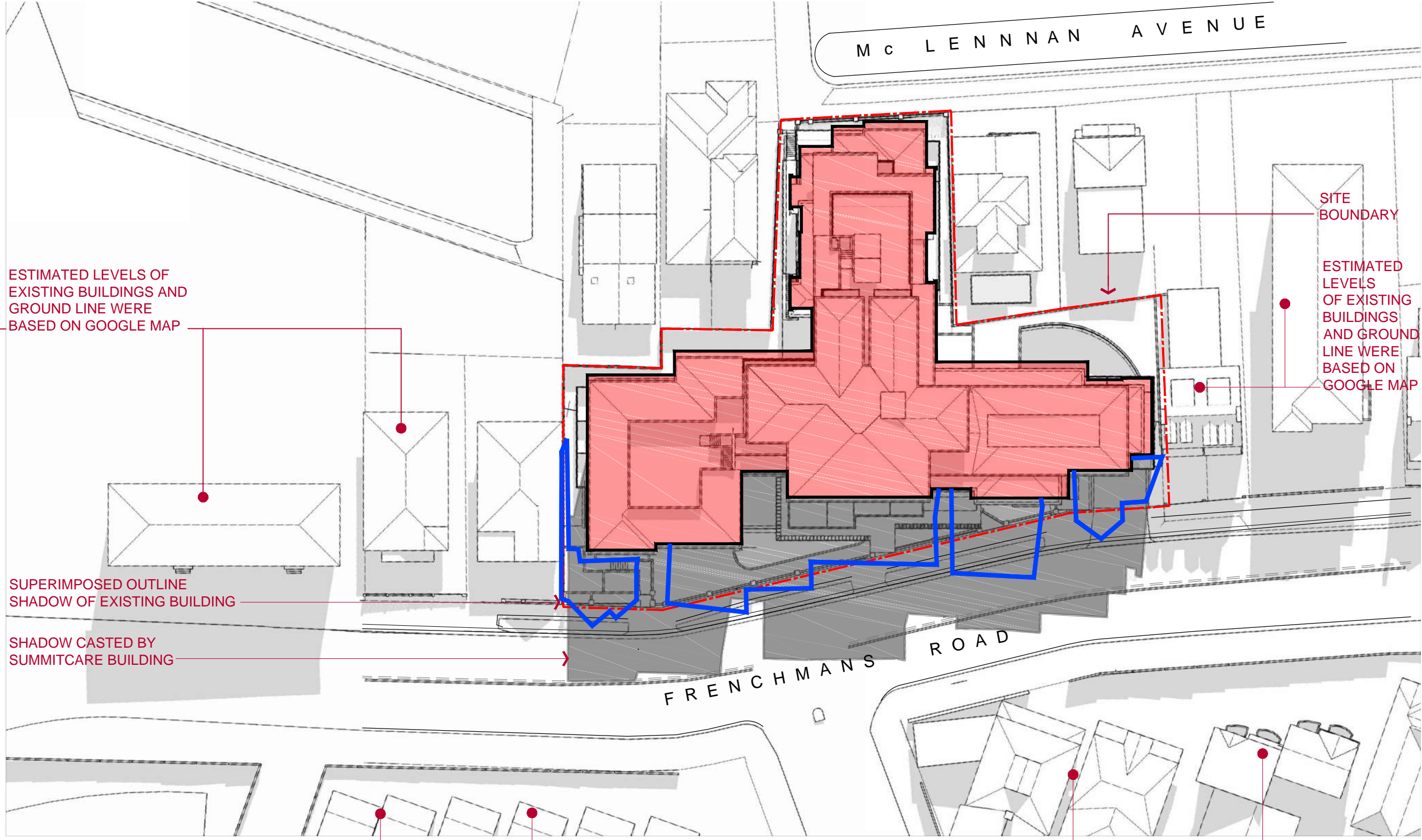
Suite 7, Level 1 Epica, 9 Railway Street  
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AUSTRALIA  
Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: bgrgroup@bgr.net

	Date	JULY 2019	Job No. : Drawing
	Scale	NTS @ A1	2017 / DA16
	Drawn	VI	
	Amendment	4	





21 JUNE 8AM  
PROPOSED

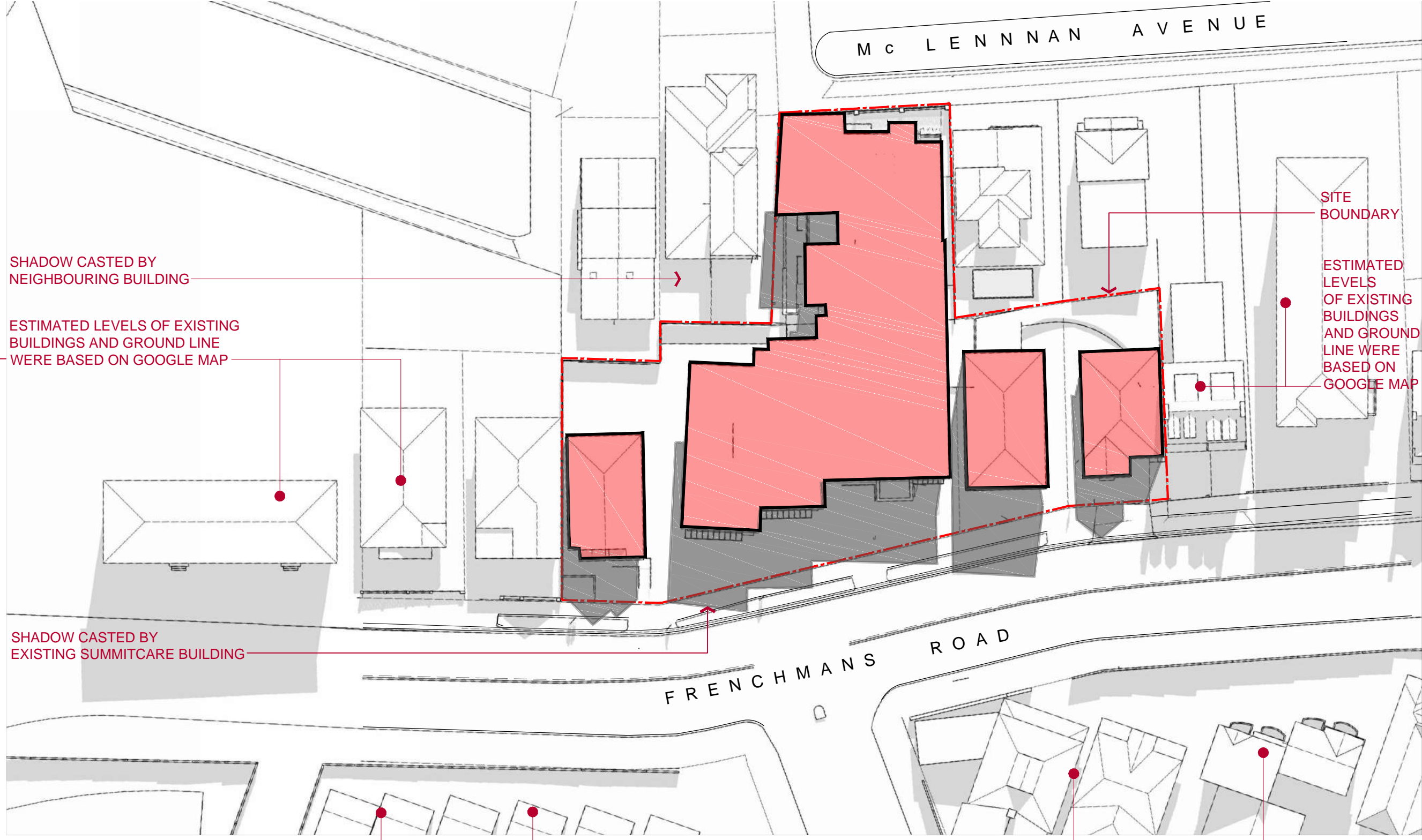


21 JUNE 12PM  
PROPOSED

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CASTED BY SUMMITCARE BUILDING
	SHADOW CASTED BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 8AM  
EXISTING



21 JUNE 12PM  
EXISTING



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue	19.12.19
No.	Amendment	Date

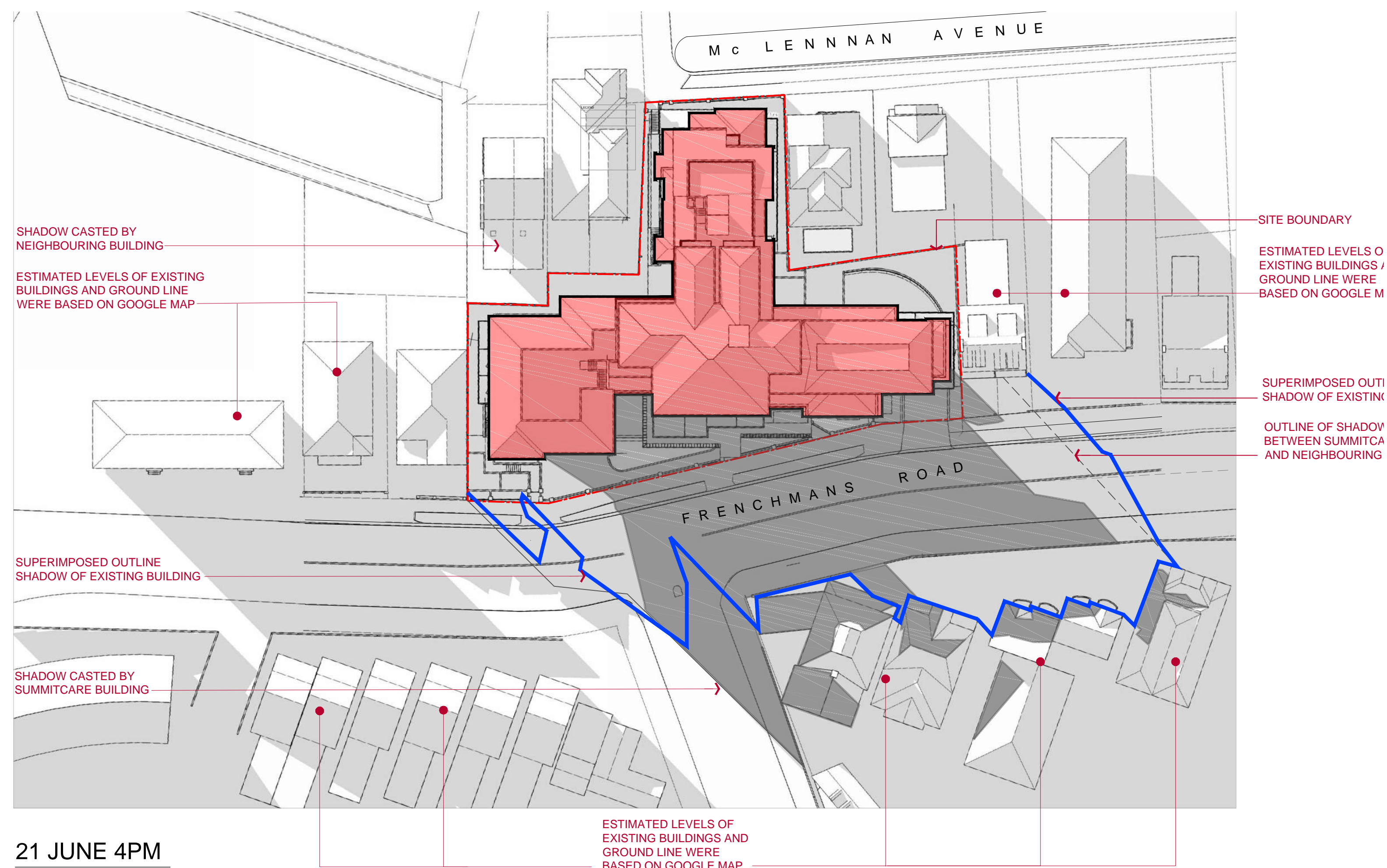
Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SHADOW DIAGRAMS  
Existing & Proposed- 21June 8am & 12pm

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Cherrywood NSW 2067  
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Tel: (02) 9406 7000  
Fax: (02) 9406 7099  
Email: brgroup@brg.net

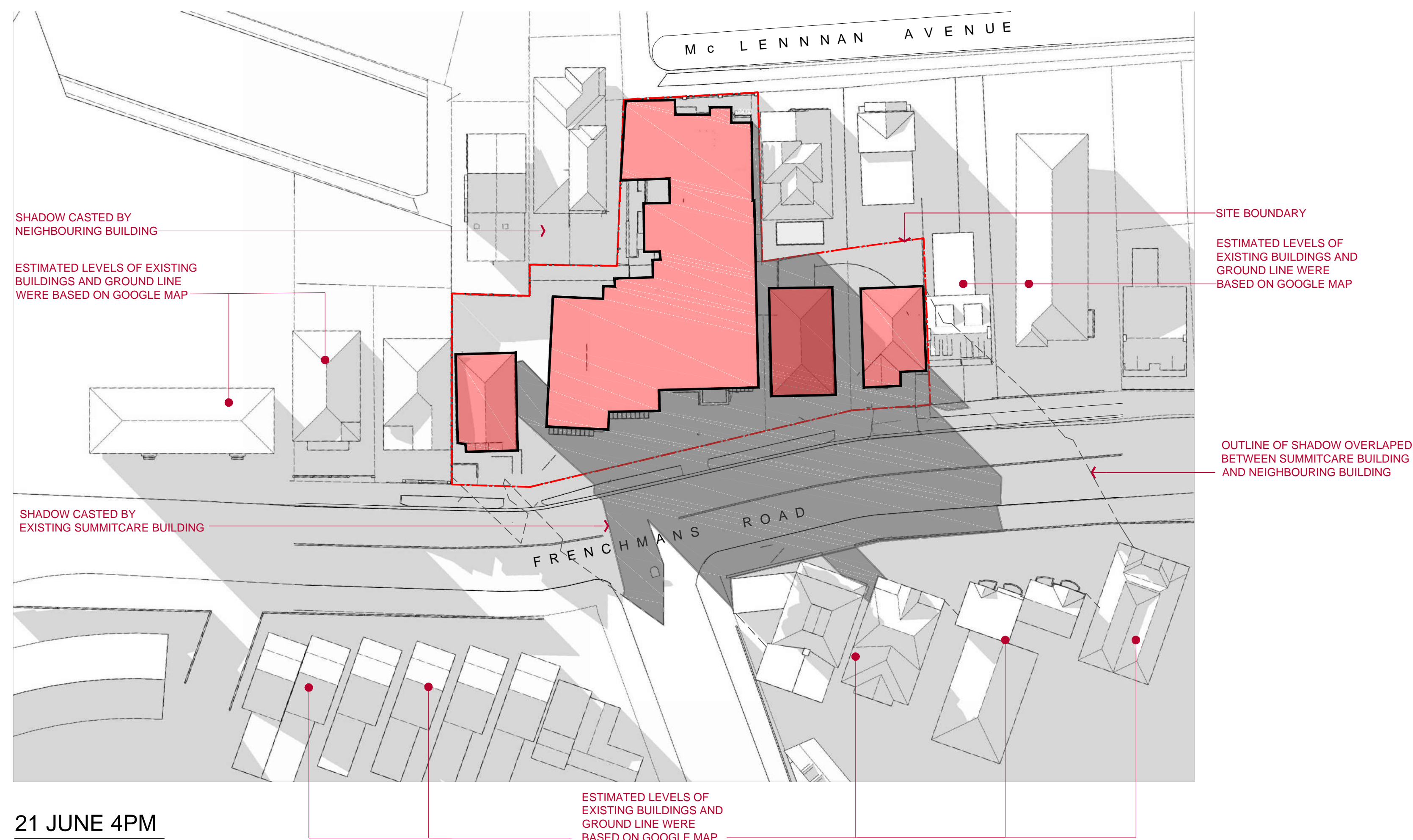
Date	JAN 2019	Job No.	Drawing
Scale	1:500		
Drawn	VI		
Amendment	4		

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SCALE: 1: 500 @ A1  
SCALE: 1: 1000 @ A3

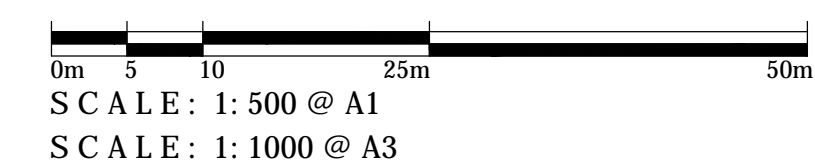










21 JUNE 4PM  
PROPOSED



21 JUNE 4PM  
EXISTING



LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CASTED BY SUMMITTCARE BUILDING
	SHADOW CASTED BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPPED BETWEEN SUMMITTCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY




4	Preliminary DA Issue	30.09.22
3	Development Application Issue	07.09.22
2	Development Application Issue for review	14.08.22
1	Development Application Issue	19.12.21
No.	Amendment	Date

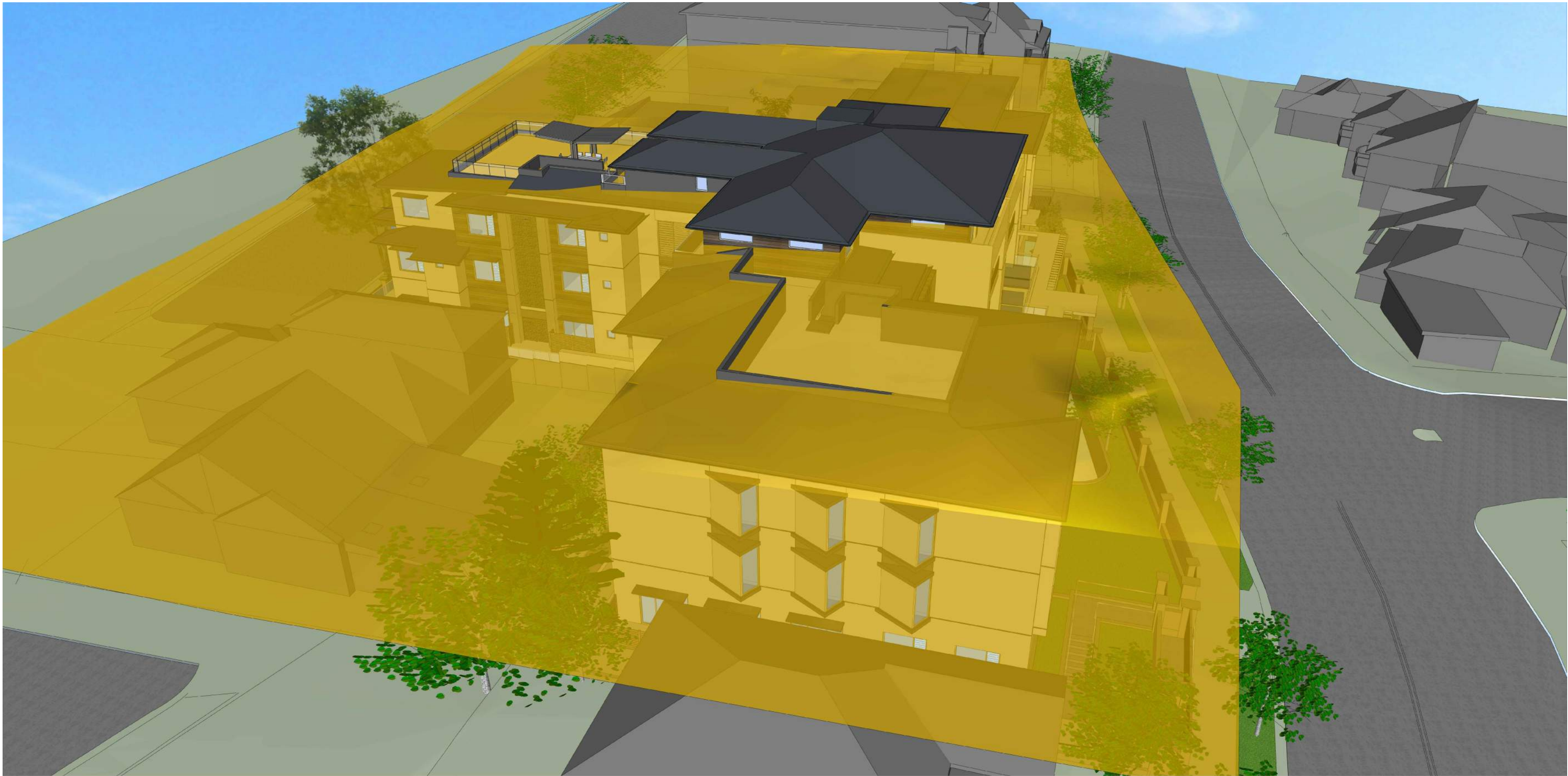
Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SHADOW DIAGRAMS  
Existing & Proposed- 21June 4pm

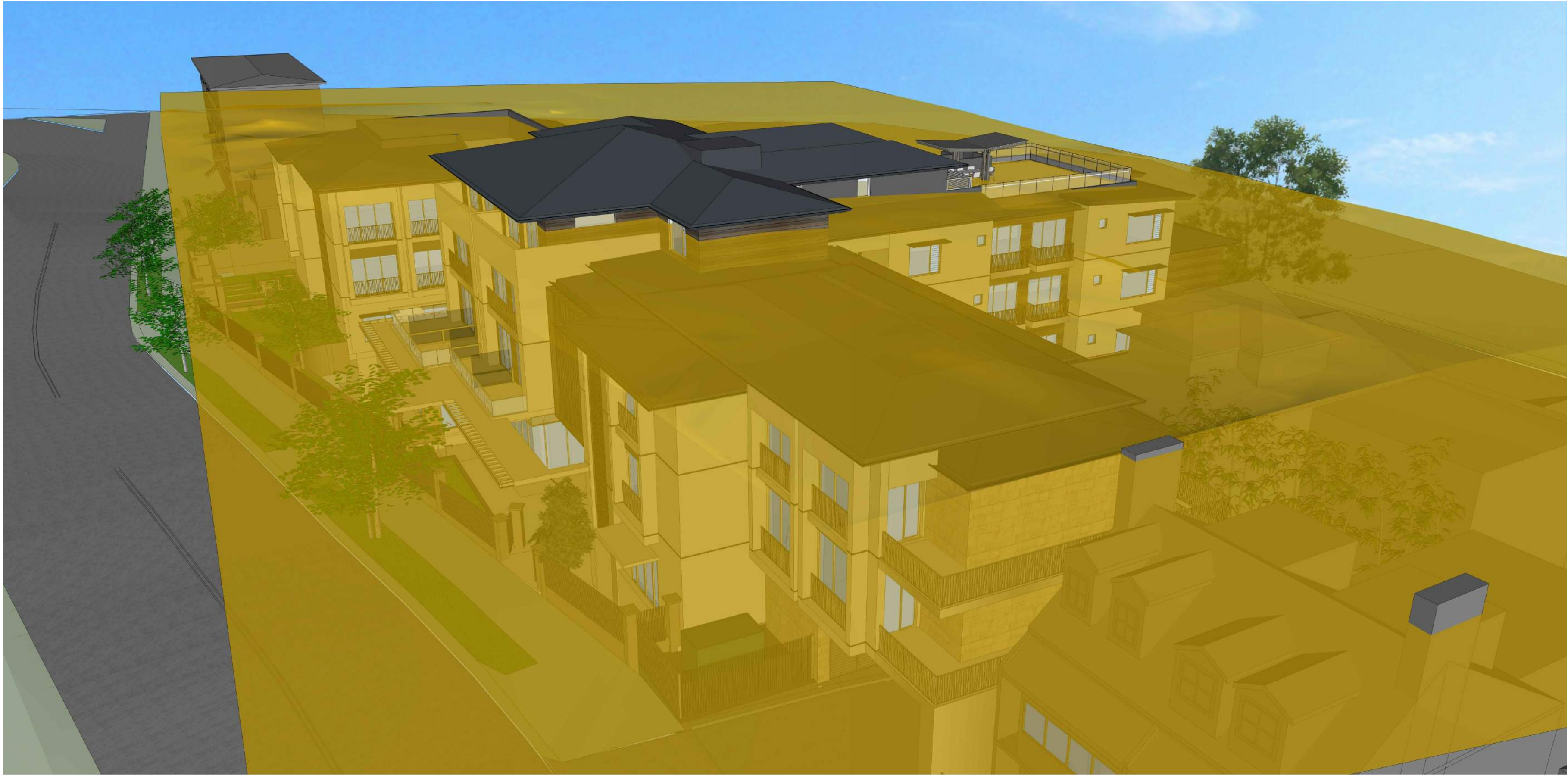


	Date	JAN 2019	Job No. : Drawing  1912 / DA18
	Scale	1:500	
	Drawn	VI	
	Amendment	4	





WEST - 3D IMAGE



EAST - 3D IMAGE

The above graphics are showing the 3D model of the proposed development with the 12m height control represented by a yellow coloured plane. These images demonstrate the extent of built form that penetrates the height control



1	Preliminary DA Issue	30.09.2020
No.	Amendment	Date

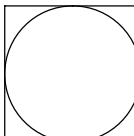
Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
3D IMAGE Showing  
built form penetrating 12m height



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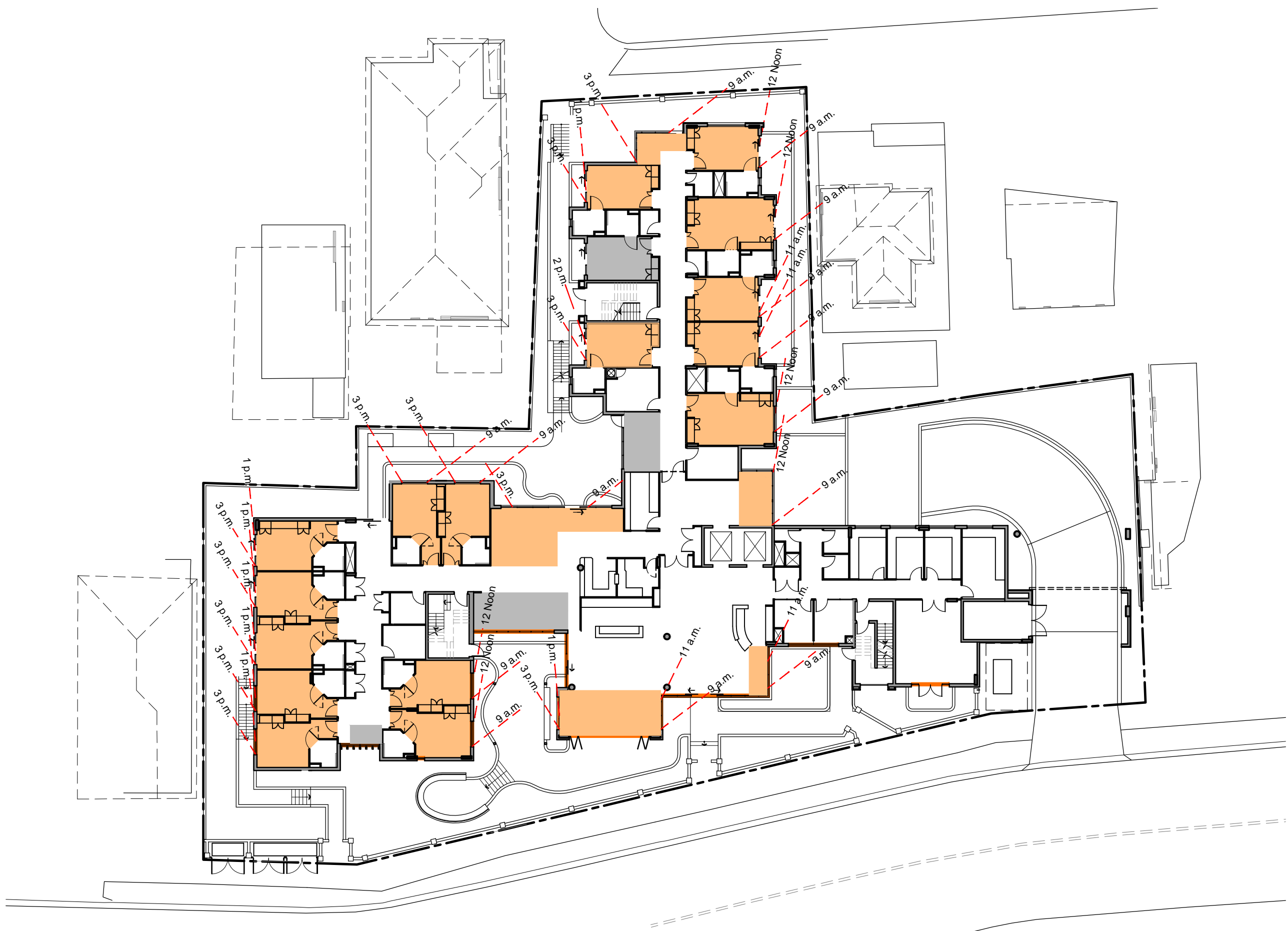
Suite 7, Level 1, Epica, 9 Railway Street  
Cherrywood NSW 2067  
AUSTRALIA  
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Fax: (02) 9406 7099  
Email: bgrgroup@bgr.net

	Date	JAN 2019	Job No.	: Drawing
	Scale	1:500		
	Drawn	SS		1912 / DA18a
	Amendment	1		

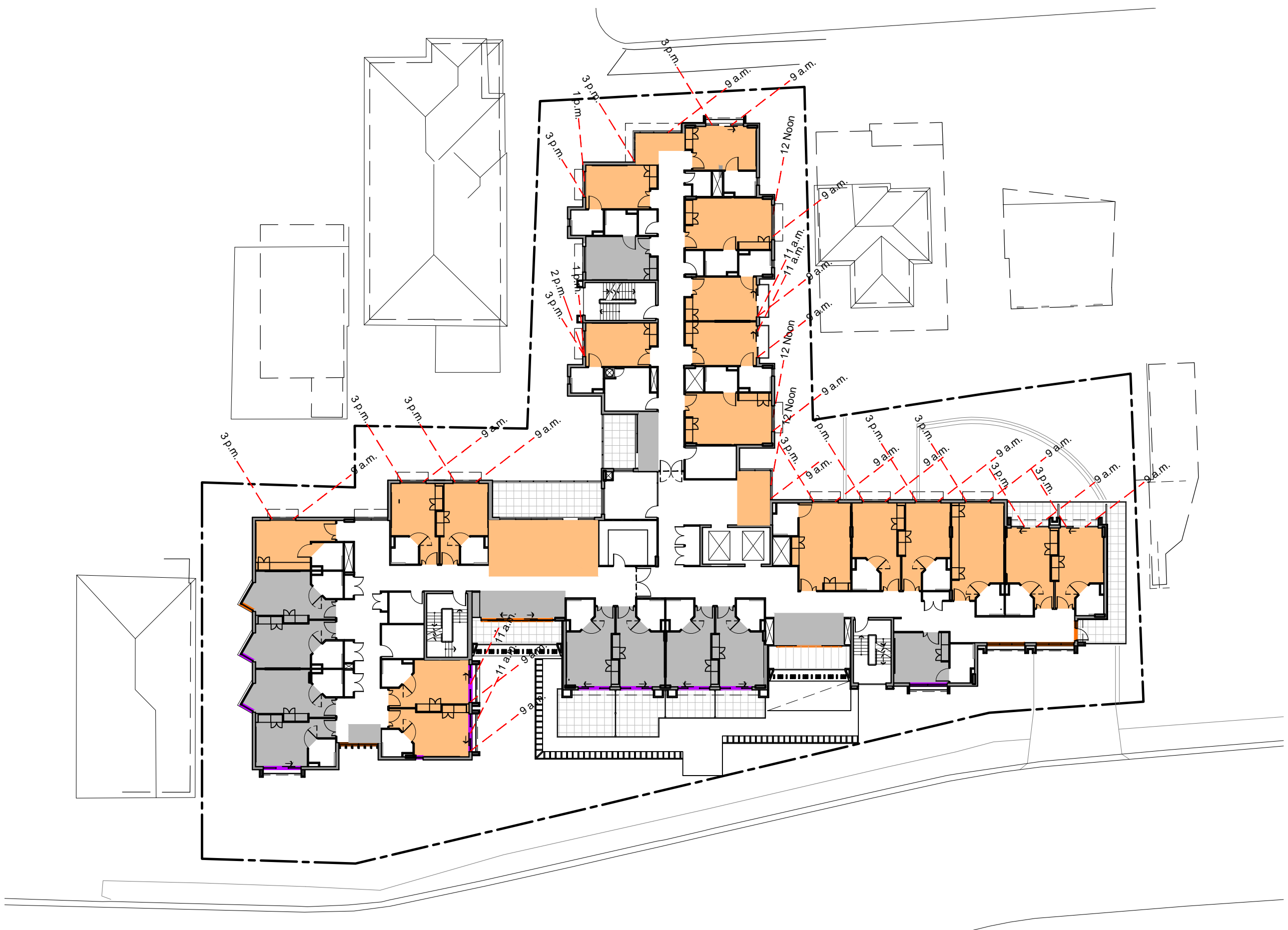


LEGEND

	Rooms with SOLAR ACCESS between 9am to 3pm
	NO SOLAR ACCESS



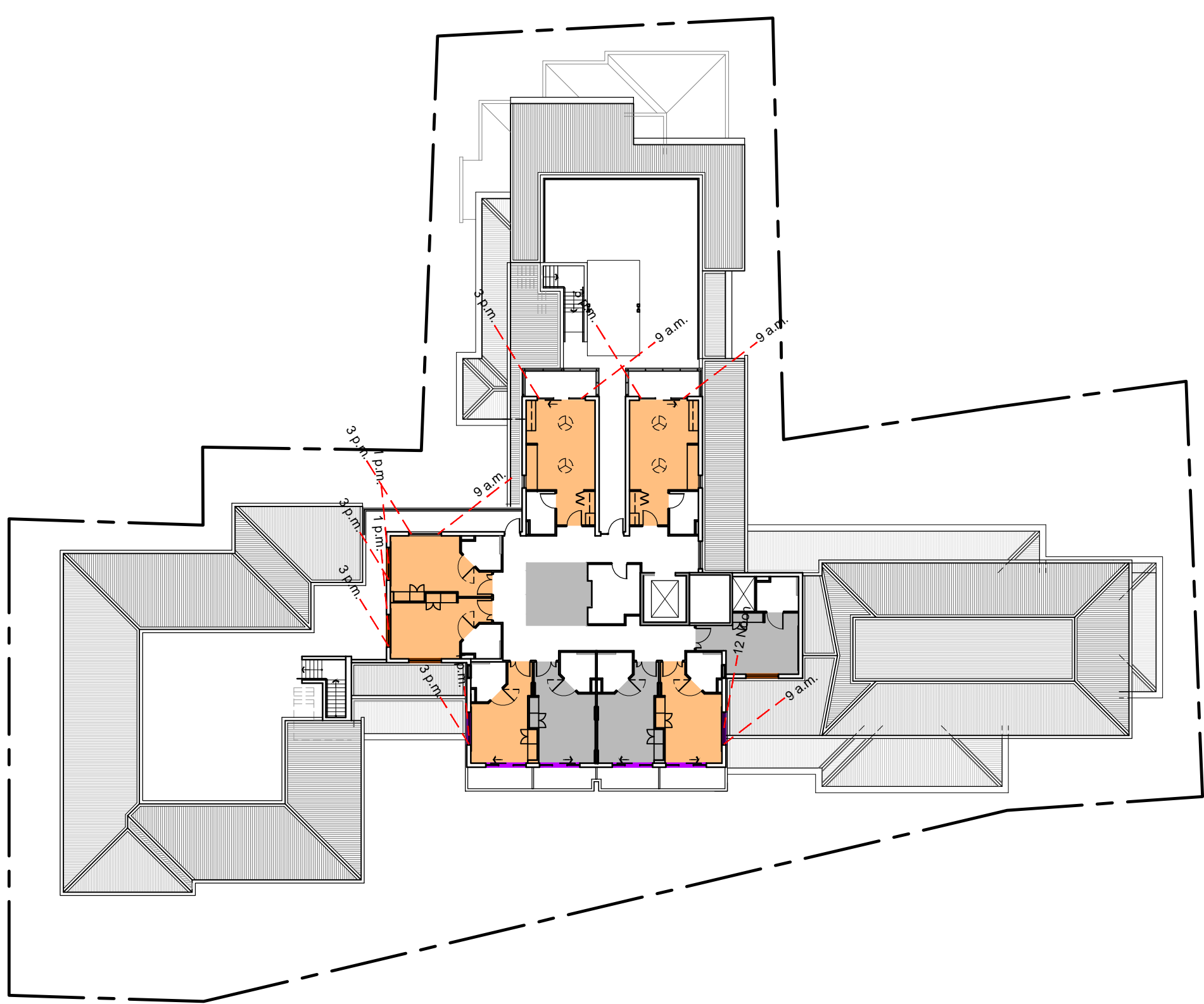
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



0m 2 5 10 20m  
SCALE: 1:300

3	Preliminary DA Issue	30.09.2020
2	Development Application Issue	07.09.2020
1	Preliminary Issue	14.08.2020
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SOLAR ACCESS DIAGRAM



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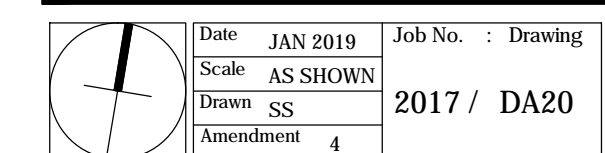
Date	AUG 2020	Job No.	: Drawing
Scale	1:300 @ A1		
Drawn	AL	1912/	DA19
Amendment	3		





Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
GROUND FLOOR PLAN





GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	-
GROUND FL.	905.8 m²
FIRST FL.	1,278.9 m²
SECOND FL.	1,231.0 m²
THIRD FL.	369.6 m²
TOTAL	3,785.2 m²



First Floor  
Gross Floor  
Area - 1,278.9 m²



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
FIRST FLOOR PLAN



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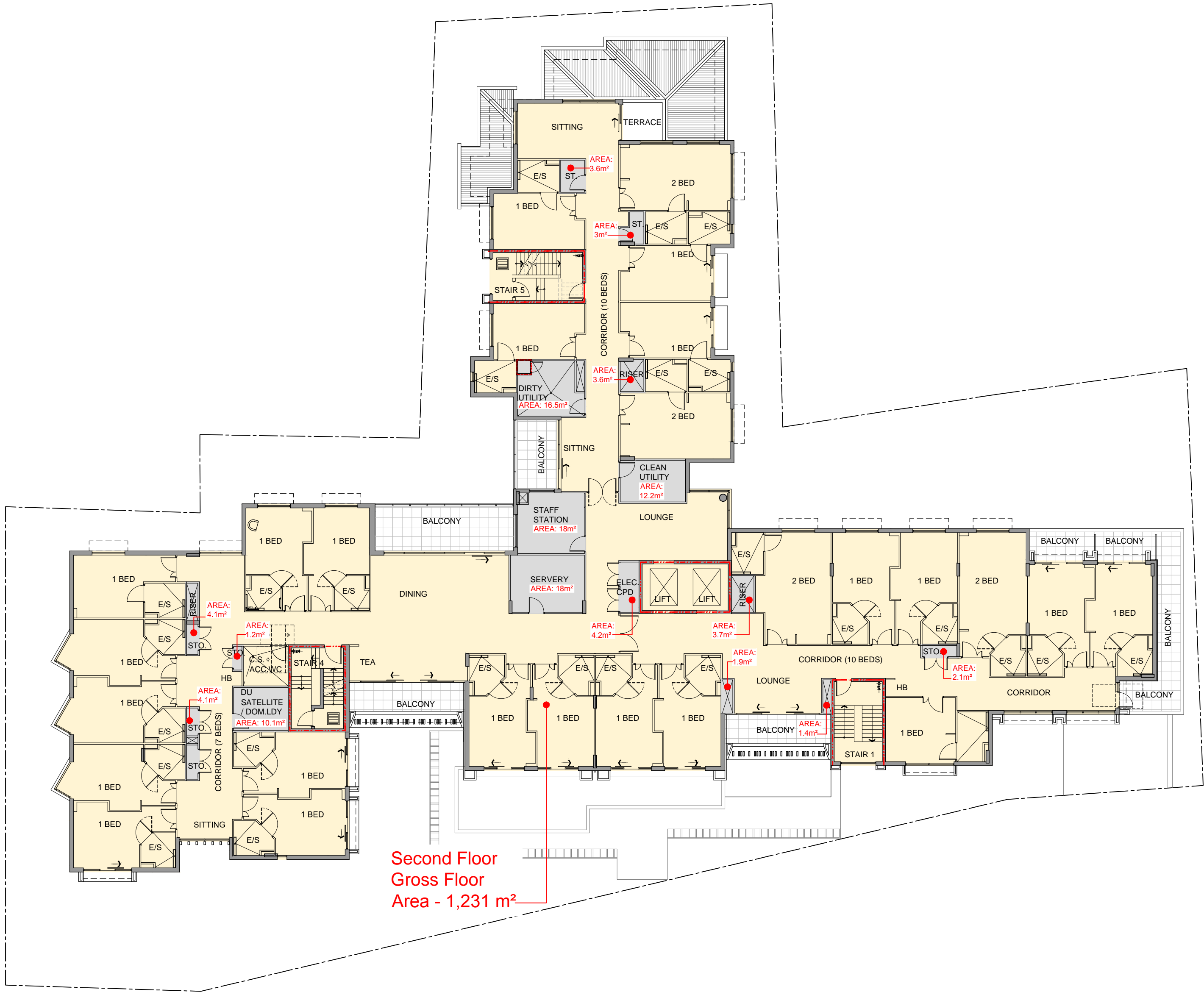
boffa robertson group  
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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		2017 / DA21
Drawn	SS		
Amendment	4		



GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	-
GROUND FL.	905.8 m²
FIRST FL.	1,278.9 m²
SECOND FL.	1,231.0 m²
THIRD FL.	369.6 m²
TOTAL	3,785.2 m²



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
SECOND FLOOR PLAN



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**br**  
rsg

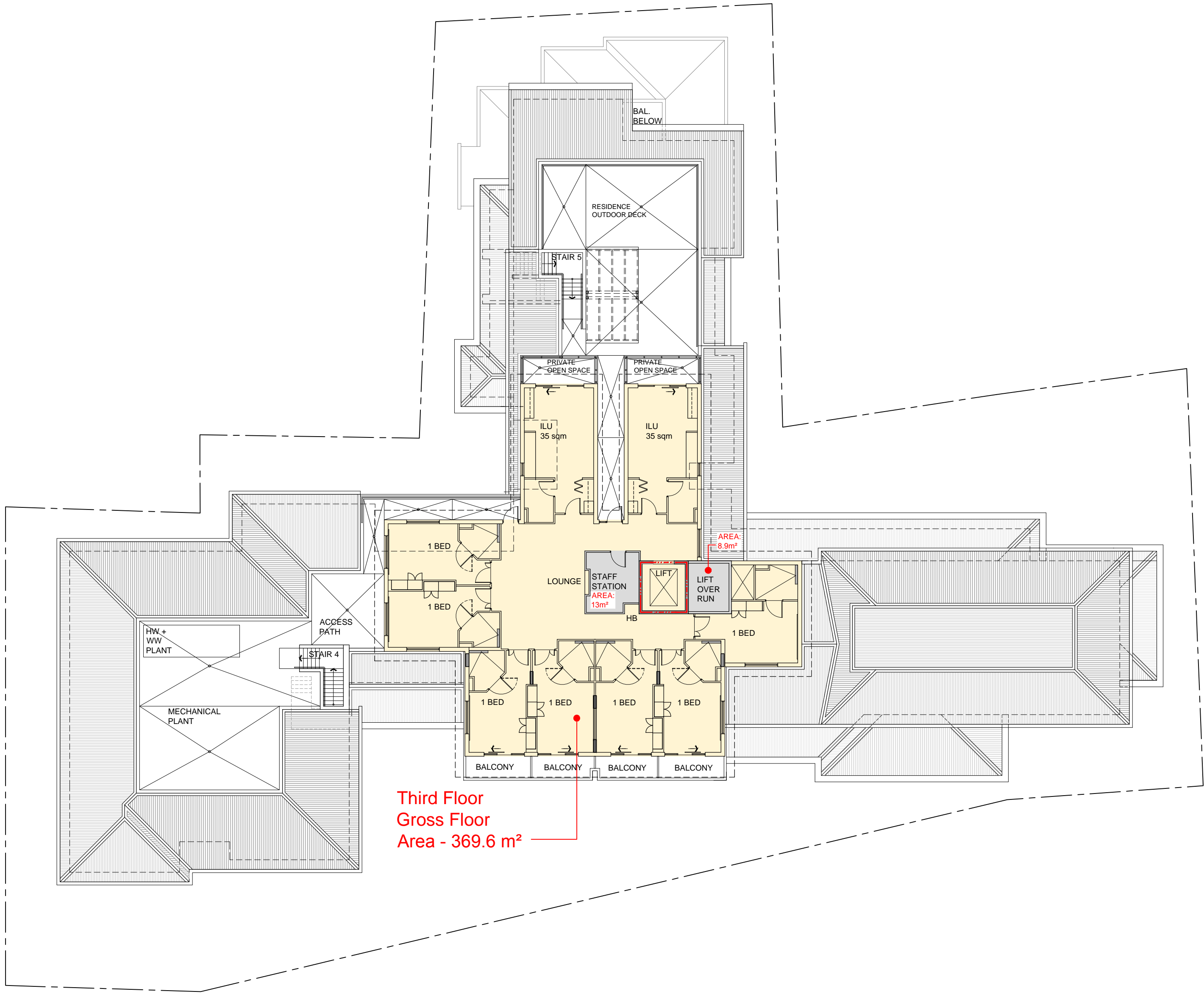
Suite 7, Level 1, Epica, 9 Railway Street  
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AUSTRALIA  
Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

Date	JAN 2019	Job No. : Drawing
Scale	AS SHOWN	
Drawn	SS	2017 / DA22
Amendment	4	



GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	-
GROUND FL.	905.8 m²
FIRST FL.	1,278.9 m²
SECOND FL.	1,231.0 m²
THIRD FL.	369.6 m²
TOTAL	3,785.2 m²



EXCLUDED AREA GFA : 21.3 m<sup>2</sup>



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
THIRD FLOOR PLAN



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	Date	JAN 2019	Job No. : Drawing
	Scale	AS SHOWN	2017 / DA23
	Drawn	SS	
	Amendment	4	



#### LEGEND

---	BOUNDARY
---	EXISTING WALLS, DOORS, WINDOWS, FENCE, RETAINING WALL, SANITARY's, DRIVEWAY, PATH, PIT, SERVICES TO BE REMOVED
---	EXISTING FENCE TO BE RETAINED
○	EXISTING TREES TO REMAIN
○	TREES TO BE REMOVED
+ ex.RL.0	EXISTING LEVELS
RL.00.00	PROPOSED LEVELS



5	Preliminary DA Issue	30.09.2020
4	Development Application Issue	07.09.2020
3	Development Application Issue for review	14.08.2020
2	Development Application Issue for review	11.08.2020
1	Development application issue	19.12.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

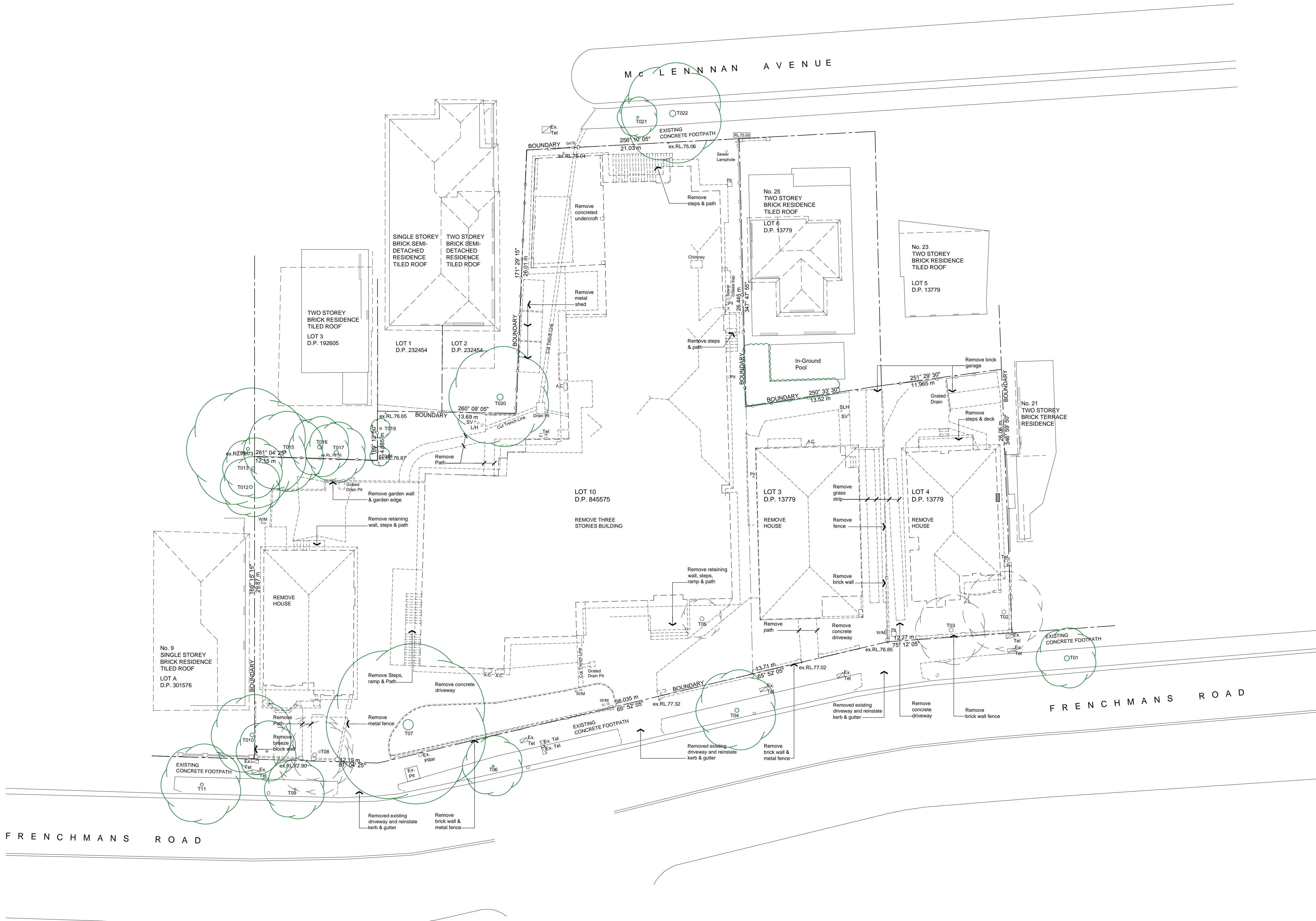
Drawing  
DEMOLITION PLAN



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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		1912 / DA24
Amendment	5		



0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3